

PUBLIC MEETING AGENDA
MUNICIPALITY OF WOODSTOCK, VERMONT
WOODSTOCK CONSERVATION COMMISSION
31 The Green
Woodstock, VT 05091

The Conservation Commission will meet at **6:30 PM** on **Wednesday, May 21st, 2025.**

The Meeting will be held via Zoom [CLICK HERE TO JOIN](#).
The login information is at the bottom of this agenda.

1. Call to Order: 6:30 PM

2. Public Hearing:

C0 T-0058-25 – Kevin Powers

Location: 1184 Westerdale Road

Parcel ID: 07.01.08.001

Proposed Development: To build a 28' x 30' garage in steep slopes.

D0 T-0062-25 – Todd and Jaime Korlesky

Location: 184 Rose Hill Road

Parcel ID: 30.21.20.002

Proposed Development: New 4-bedroom single family home on an undeveloped" parcel with no lot frontage on a public road, in steep slopes.

C. V-0030-25 - Charlie Compton

Location: 6 Highland Ave

Parcel ID: 24.51.30.000

Proposed Development: To construct a wooden deck with new stairs and a canopy.

3. Other Business:


4. Adjournment

To join the Conservation Commission Meeting via Zoom, [CLICK HERE](#) then enter the following:

Meeting ID: 886 4885 1165
Passcode: 345452

Woodstock Planning & Zoning Application

All applicants must be the owner, the owner's attorney, or authorized agent of property described herein. A person holding a binding agreement to purchase property may sign application by providing written proof of such agreement. If an agent or attorney will represent or speak on owner's behalf, owner must complete the agent portion of this application.

Applicant: KEVIN POWERS Phone: 1617 997 5292 Email: kpowers4@mac.com
Address: 1189 WESTERDALE RD City/Town: WOODSTOCK State: VT Zip Code: 05091
Co-Applicant: JUSTIN DUMOULIN Phone: 802 354 3203 Email: juss6677@gmail.com
Address: 96 WEST GILSON AVE City/Town: WRT State: VT Zip Code: 05061
Signature(s): 

*What is the best way to contact you? Phone or Email email

*What address would you like your Notice of Hearing/Permit mailed to? 1200 WASHINGTON ST
BOSTON MA 02108

Agent Authorization

(a representative speaking on behalf of the owner/applicant)

I, _____ owner of property located at _____ Woodstock, Vermont, hereby designate as my agent.

Name of Agent: _____ Phone: _____ Email: _____

Address: _____ City/Town: _____ State: _____ Zip Code: _____

Agent may be accepted as though made by me personally, and I understand that I may be bound by an official decision made based upon such representation

Signature: _____

Parcel ID Number(s): _____ Address: 1189 WESTERDALE RD Zoning District: _____ Overlay District: _____

Proposal of project: 28'x30' TWO CAR GARAGE

----- Planning & Zoning Office Only -----

Village Design Review Hearing Date: _____ Village Development Review Hearing Date: _____

Town Development Review Hearing Date: _____ South Woodstock Review Hearing Date: _____

Planning Commission Hearing Date: _____ Conservation Commission Hearing Date: _____ Administrative: _____

Date Recvd: _____ Date Complete: _____ By: _____ Application #: _____

Review Fee: _____ Itemized Fee: _____ Recording Fee: _____ Total Fee: _____

Paid: cash _____ check _____ MuniPay: _____ Payment Date: _____

SIGNS

- \$50 for 20 SF or less
+ \$5 per SF > 20 SF

MISCELLANEOUS

- Minor Subdivision (one new lot created): \$325 per new lot created.
- Major Subdivision (more than one new lot created): \$450 per new lot created.
- Lot Line Adjustment: \$285
- Stand-alone, non-commercial excavation, addition, removal, or redistribution of 10 or more cubic yards of soil: \$250 (base) + \$1.25 per cubic yard over 10 cubic yards (ex. Septic, pond, pool, plunge pool, driveway culvert, etc.)
 - 10 cubic yards of excavation, addition, removal, or redistribution that is related to a permitted development is already included in that development's overall fee. \$1.25 per cubic yard over 10 cubic yards.
- Commercial extraction of sand, gravel, and minerals: \$500 (base fee) + \$ 2.50 per cubic yard of disturbance over 25 cubic yards.
- Demolition: \$200 per structure.
- Certificate of Occupancy: \$100 (Includes inspection – required on all new commercial and residential buildings).
- Fences: \$ 0.40 per linear foot
- Appeals of Administrative decision or Review Board Permit(s): \$450

SHORT TERM RENTALS

- Development Review Board Fee + Conversion from Residential to Commercial Fee = Total

Refund Policy

Permit application fees are non-refundable. In unusual or compelling circumstances, the Zoning Administrator may adjust or waive any fee.

Non-profit (certified 501(c)(3)):

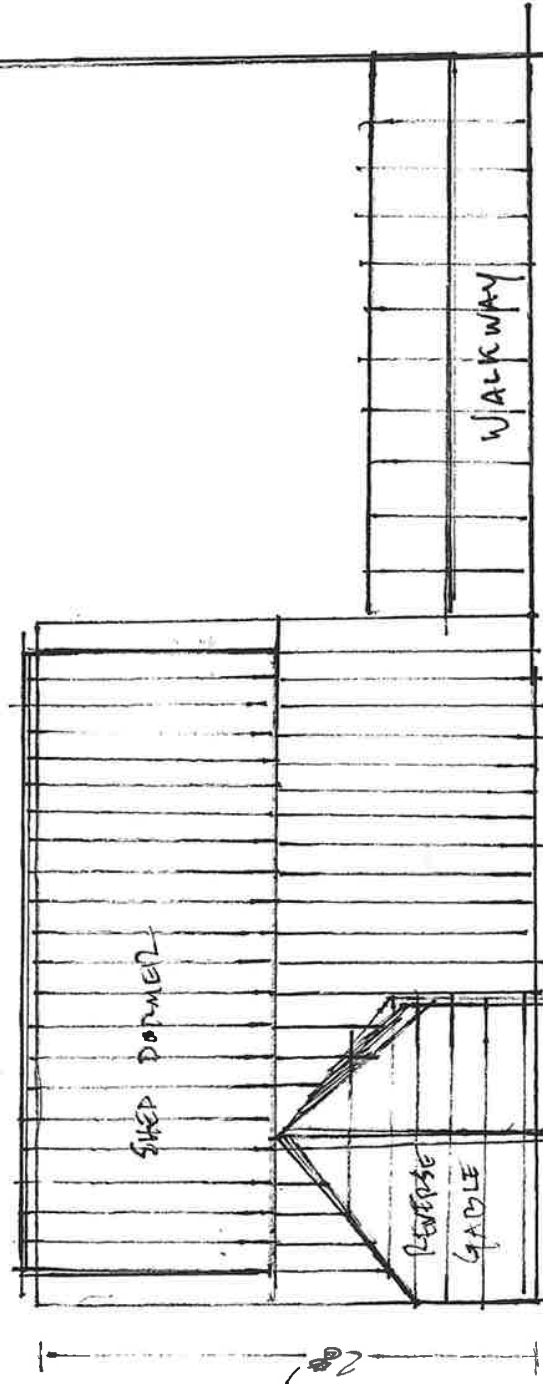
The administrative review cost shall be waived for any certified 501(c)(3), but still requires payment of the recording fee and any associated building or itemized fees.

After-the-fact permit fee:

The fee that would have been charged for the permit, had the applicant applied before-the-fact, shall be doubled for any applicant who has commenced land development without a permit.

(N)

MAIN
HOUSE

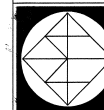
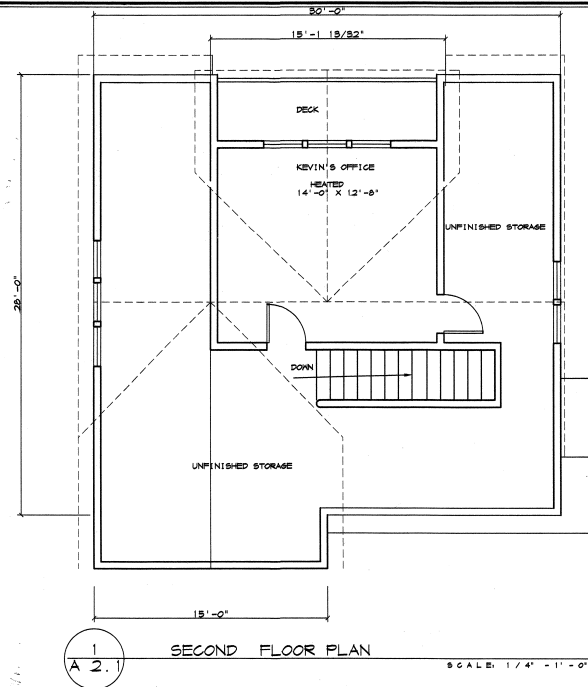
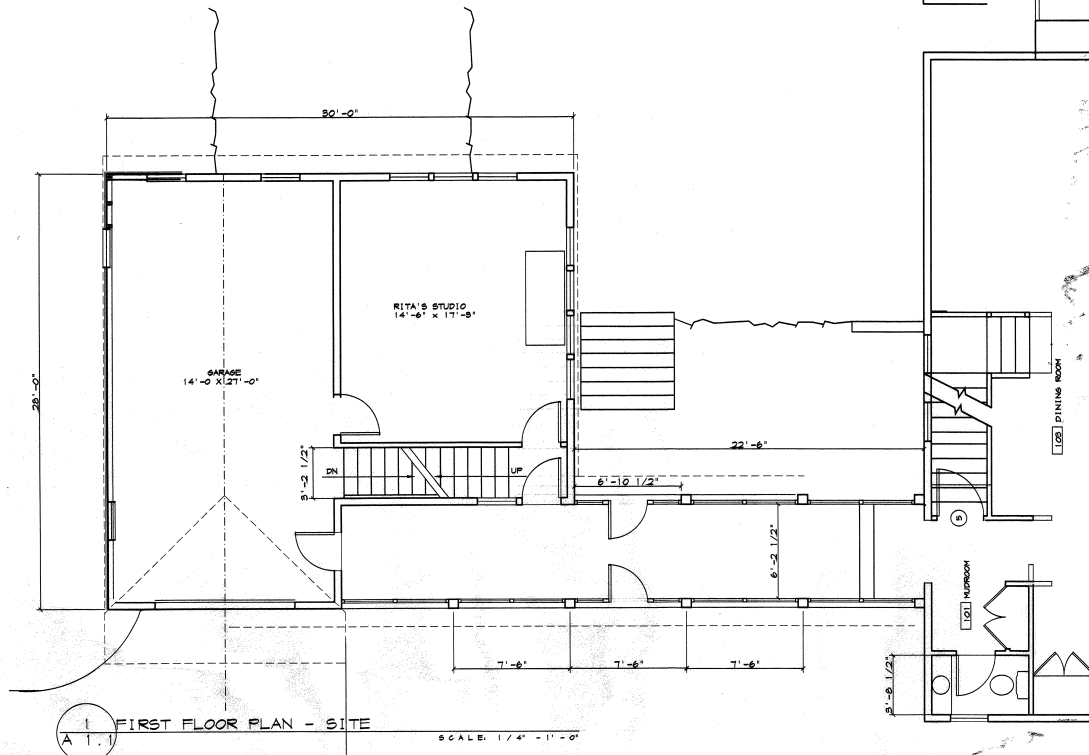
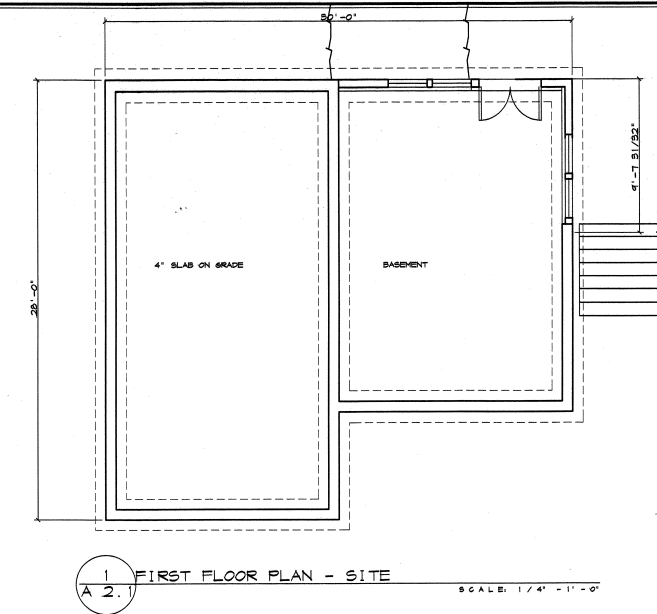


GARAGE IN



GARAGE IN

(S)



MONTH, DAY, YEAR
REVISIONS
SEAL

NOVEMBER, 9, 2007
DATE
SHEET NO.

A1.1

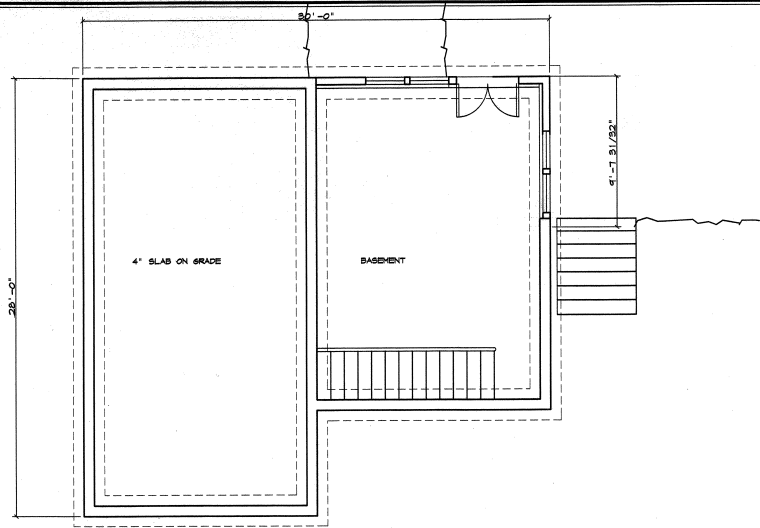
OF SHEETS

RICHARD M. MONAHAN, JR., AIA
ARCHITECT
44 MAIN STREET, PETERBOROUGH, N.H. 03458
TEL (603) 924-7279 FAX (603) 924-3297
WWW.MONAHANARCH.COM info@monahanarch.com

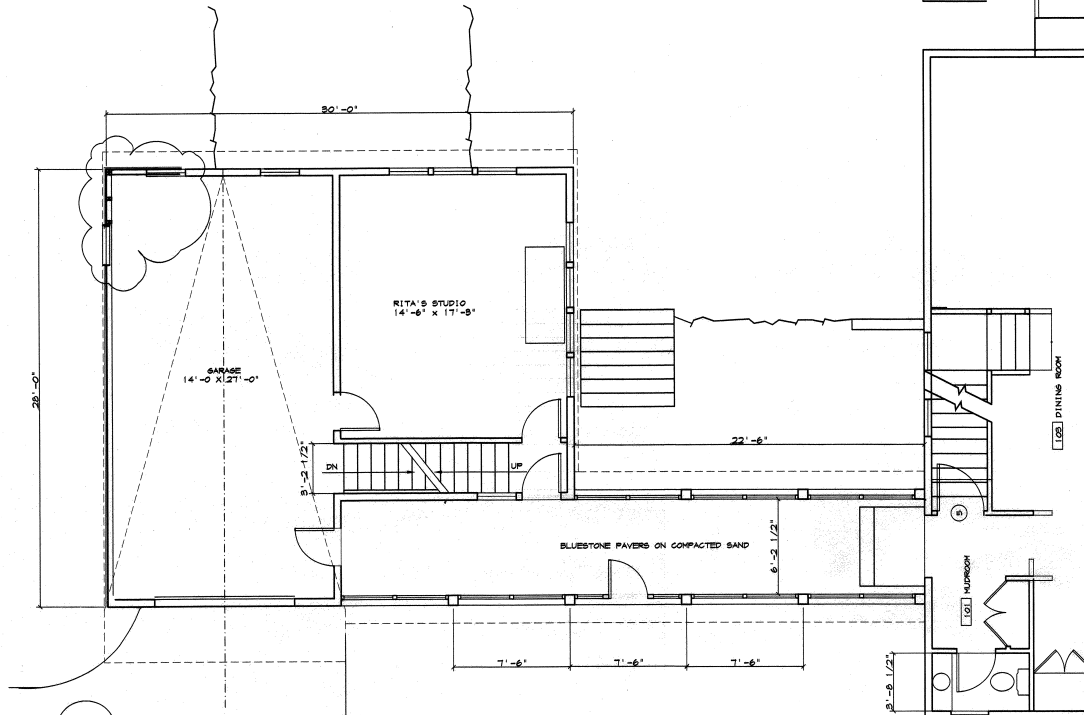
SHEET TITLE
PLAN AND ELEVATION

DATE: NOVEMBER, 9, 2007
JOB NUMBER: 0735
SCALE: 1/4"=1'-0"
DRAWN BY: DRAFTER/SEEN
CHECKED BY: TROLL, ARCHITECT

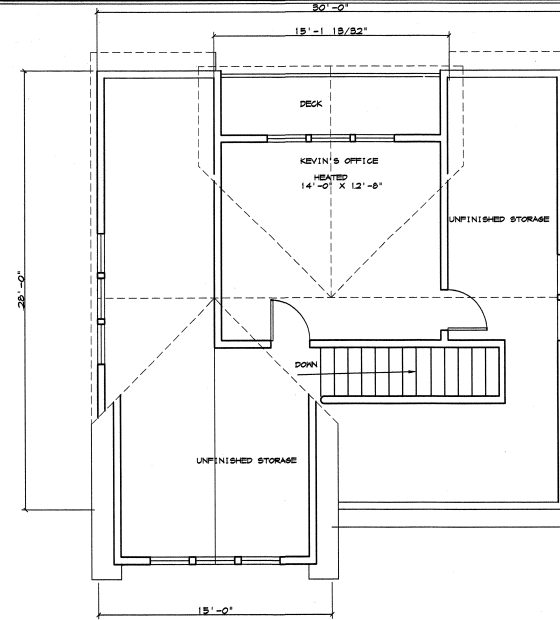
PROJECT TITLE
CHRISTIANSEN-POWERS GARAGE-STUDIO
WOOD STOCK, VT



1
A 2.1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



1
A 2.1 FIRST FLOOR PLAN - SITE
SCALE: 1/4" = 1'-0"

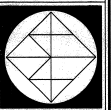


1
A 2.1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT TITLE
CHRISTIANSEN-POWERS GARAGE-STUDIO
WOOD STOCK, VT

SHEET TITLE
PLAN AND ELEVATION

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MONTH, DAY, YEAR
REVISIONS
SEAL

NOVEMBER, 6, 2007
DATE
SHEET NO.

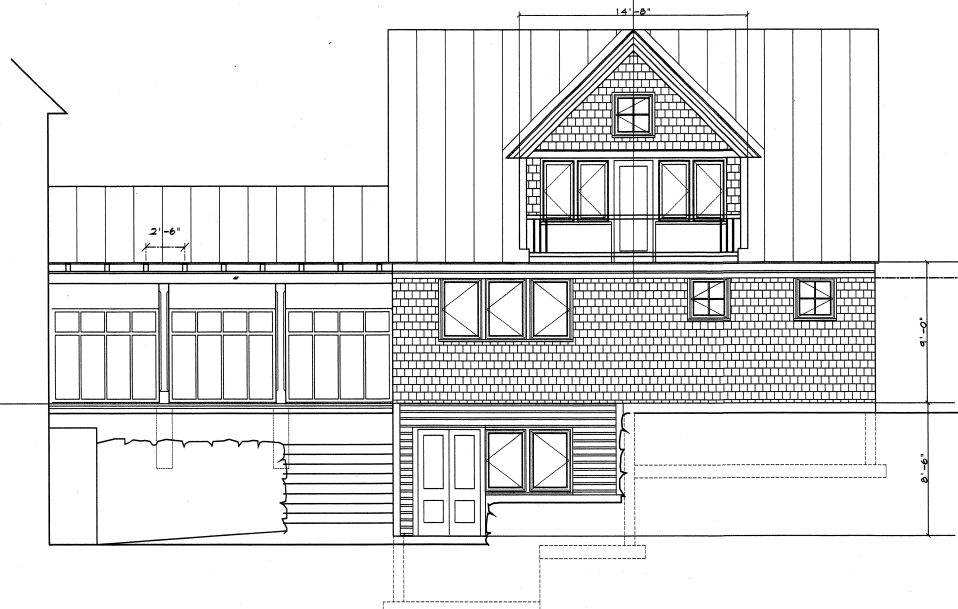
A2.1

OF SHEETS



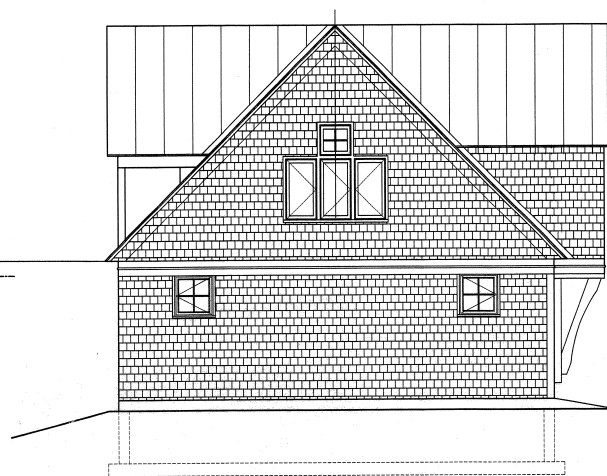
1 SOUTH ELEVATION
AS.1

SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
AS.1

SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
AS.1

SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
AS.1

SCALE: 1/4" = 1'-0"

PROJECT TITLE

CHRISTIAN-POWERS GARAGE-STUDIO
WOODSTOCK, VT

SHEET TITLE

EXTERIOR ELEVATIONS

JOB NUMBER: 0735
DATE: JULY 14, 2009
SCALE: 1/4" = 1'-0"
DRAWN BY: HMA
CHECKED BY: HMA
COMPUTER FILE: 2007/0735-PURUM GARAGE-APARTMENT

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WWW.RMONAHANARCHITECTS.COM

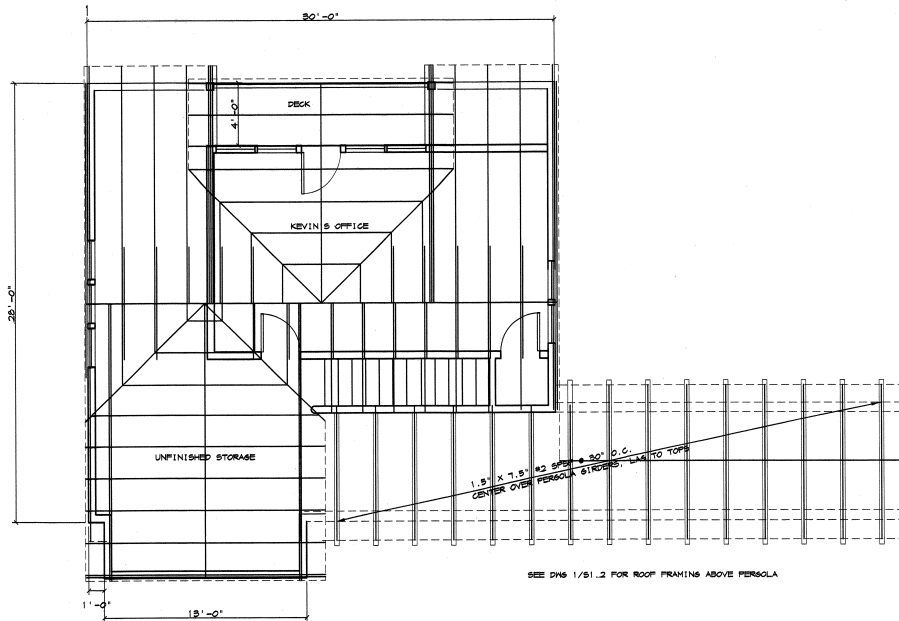


MONTH, DAY, YEAR
REVISIONS
SEAL

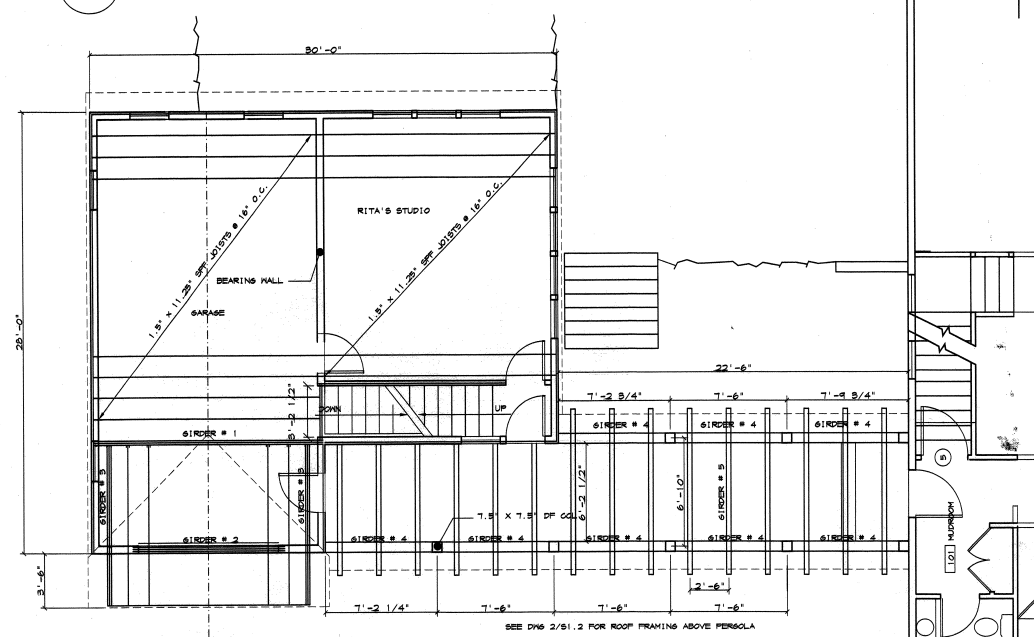
JULY 14, 2009
DATE
SHEET NO.

A3.1

OF 1 SHEETS



2 SECOND FLOOR PLAN
S1.2 SCALE: 1/4" = 1'-0"



1 SECOND FLOOR FRAMING PLAN
S1.2 SCALE: 1/4" = 1'-0"

ALL GIRDERS ARE CALCULATED FOR #2
SPRUCED-PINE-FIR PS#475 PS1 ALL JOISTS
ARE CALCULATED USING #2
SPRUCED-PINE-FIR PS#475 PS1

GIRDER SCHEDULE	
GIRDER #1	(S) 1.5" X 11.25" / #2-SPRUCED-PINE-FIR
GIRDER #2	(S) 1.5" X 4.25" / #2-SPRUCED-PINE-FIR
GIRDER #3	(S) 1.5" X 11.25" / #2-SPRUCED-PINE-FIR
GIRDER #4	(S) 1.5" X 11.25" / #2-SPRUCED-PINE-FIR
GIRDER #4	(S) 1.5" X 11.25" / #2-SPRUCED-PINE-FIR
GIRDER #4	(S) 1.5" X 11.25" / #2-SPRUCED-PINE-FIR

PROJECT TITLE:
CHRISTIAN-POWERS GARAGE-STUDIO
WOODSTOCK, VT

SHEET TITLE:
FRAMING PLANS

DATE: NOVEMBER, 8, 2007
JOB NUMBER: 0735
SCALE: 1/4"=1'-0"
COMPUTER FILE: 2007/0735-PURMAN GARAGE-APARTMENT
DRAWN BY: SMYTHSON
CHECKED BY: PROUL ARCHITECT

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NOVEMBER, 8, 2007
DATE
SHEET NO.
S1.2
OF 1 SHEETS

May 1, 2025

Molly Maxham, Land Use Coordinator
Town of Woodstock
31 The Green | PO Box 488
Woodstock, VT 05091
(802) 457-7515
pz@townofwoodstock.org

RE: 184 Rose Hill Road
Woodstock, Vermont
Conditional Use & Site Plan Review Application

Dear Molly,

We are writing on behalf of Todd and Jamie Korlesky, owners of the property at 184 Rose Hill Road, to formally apply for conditional use and TDRB approval for the construction of a new four-bedroom single-family home and associated improvements.

The property details are listed below:

- Zoning District: Residential One.
- Parcel is known as parcel #1 from a previous 3 lot subdivision completed by Farnsworth Surveys back in 2014. A copy of the survey is included in our application.
- Parcel does not have frontage along Rose Hill Road but does have an existing 30' Access and Utility right of way. A copy of the deed (V280/Pages 259-261) is included in our application.

The proposed development details are listed below:

- New 4-bedroom single family house.
- New drilled well on site and connection to municipal sewer. The sewer allocation has been approved by the town and a State of Vermont Wastewater application has been submitted. (Submission #HQC-8R83-VZKK7)
- The project includes over 1 acre of disturbance and will apply for a State Low Risk Construction Stormwater Permit.
- 590' of new driveway from the end of the existing driveway. The total length of the driveway, including the existing plus proposed, is 970'.
- New 12' wide driveway finish grades are 10% or less and the horizontal curves were designed with a 50' radius.

Conditional Use approval is required due to the following:

- Development on steep slopes exceeding 15%.
- Volume of excavation exceeds 5,000 square feet.

Molly Maxham, Town Land Use Coordinator
184 Rose Hill Road
Conditional Use & Site Plan Review Application
May 1, 2025

TDRB approval is required due to the following:

- Utilizing a 30' wide access right of way to meet frontage requirements.

We are including the following items as part of our Conditional Use and Site Plan Review applications:

- Woodstock Planning & Zoning Application
- Conditional Use Support Statement
- Warranty Deed showing Access and Utility ROW, Volume 280, Pages 259-261
- Sewer Allocation Approval
- Town Location Map
- Plan Set
 - Farnsworth Survey Subdivision Plan
 - K&L 1 Existing Conditions Plan
 - K&L 2 Site Plan
 - K&L 3 Access & Sewer Connection Plan
 - K&L 4 WW Details
 - K&L 5 WW Notes
 - K&L 5 EPSC Details
 - Birdseye G000 Title Sheet
 - Birdseye G001 Codes, Notes, Symbols & Abbreviations
 - Birdseye A100 Plan Key
 - Birdseye A101 Floor Plan L0 - Living Room Wing
 - Birdseye A102 Floor Plan L0 - Bedroom Wing
 - Birdseye A103 Floor Plan L1 - Living Room Wing
 - Birdseye A104 Floor Plan L1 - Bedroom Wing
 - Birdseye A105 Roof Plan - Bedroom Wing
 - Birdseye A106 Roof Plan - Living Room Wing
 - Birdseye A200 Exterior Elevations - West
 - Birdseye A201 Exterior Elevations - East
 - Birdseye A202 Exterior Elevations - North
 - Birdseye A203 Exterior Elevations - South
 - Birdseye A900 Renderings

Please let us know if you have any questions, comments, or require further information regarding this application. We appreciate your time and guidance on this project and look forward to your feedback.

Sincerely,



Seth Goddard, PE #55582

CONDITIONAL USE
SUPPORT STATEMENT

If your answers require additional space,
you may respond on separate sheet(s), following this format.

(not commercial)

1. **Applicant** _____ **Owner** (if different) _____

2. **Date** _____ **Parcel ID** **Map** _____ **Block** _____ **Lot** _____

3. **Nature of your request:**

4. **Zoning District** _____
Minimum Setbacks: **Front:** _____ **Side** _____ **Rear** _____ **Min. Lot Size** _____ **Min. Frontage** _____

Do your plans conform to these requirements? _____ If not, please explain:

5. **Describe the location and the proposed project, including type & extent of development and any other description/explanation.**

WARRANTY DEED

KNOW ALL PERSONS BY THESE PRESENTS that **Benjamin Herndon**, of Alexandria, Virginia, Grantor, in the consideration of **ONE DOLLAR AND OTHER VALUABLE CONSIDERATION** paid to my full satisfaction by **Rose Hill VT REAL ESTATE, LLC**, a Vermont Limited Liability Company, Grantee, by these presents, do freely **GIVE, GRANT, SELL, CONVEY AND CONFIRM** unto said Grantee, **Rose Hill VT REAL ESTAE, LLC**, its successors and assigns forever, certain lands and premises in Woodstock, in the County of Windsor and State of Vermont, described as follows, viz:

It being all and the same lands and premises conveyed to Benjamin Herndon by Warranty Deed of Janine W. Kanzler, dated August 28, 2014, and recorded in Book 247 at Pages 99-100 of the Woodstock Land Records, and more particularly described as follows:

Being a portion only of the lands and premises conveyed to the Janine W. Kanzler by Quitclaim Deed of Robert Clay Kanzler dated April 11, 1996 and recorded in Book 123, Page 101 of the Town of Woodstock Land Records. Being a parcel of land consisting of 4.17 acres, more or less, as further depicted as Parcel #1 on a Survey entitled "Subdivision for Janine W. Kanzler Rose Hill Road, Woodstock, Vermont" prepared by Farnsworth Surveys on June 19, 2014, to be recorded in the Town of Woodstock Land Records. The property therein is more particularly described as follows:

Beginning at an iron pipe found at the northwest corner of Parcel #2 thence proceeding along property now or formerly of March N76°28'30"W a distance of 108.2 feet, more or less to an iron rod; thence turning and proceeding N 16°16'30"E a distance of 122.40 feet, more or less; thence continuing along property now or formerly of Emmons N18°02'00"E a distance of 328.20 feet, more or less to an iron rod; thence turning and proceeding along stone wall remnants and property now or formerly of Emmons the following courses and distances S61°08'00"E a distance of 231.50 feet, more or less; S62°38'38" E a distance of 181.22 feet, more or less; S59°11'30" a distance of 79.40 feet, more or less to a iron pipe; thence turning and proceeding along property now or formerly of Tilton S10°13'30"E a distance of 78 feet, more or less, to an iron pipe; thence proceeding along property now or formerly of Maynes S09°57'30"W a distance of 53.90 feet, more or less to an iron rod; thence proceeding along property now or formerly of Boone S10°05'00"W a distance of 129.40 feet, more or less, to an iron rod; thence turning and proceeding along the boundary with Parcel #3 as depicted on the Survey N84°46'49"E a distance of 293.50 feet, more or less; thence along the boundary with Parcels #3 and #2 N84°46'49" a distance of 125.00 feet, more or less to the point or place of beginning.

The property benefits from a thirty foot wide right of way that extends from Rose Hill Road to the Boundary of Parcel #1 as depicted on the Survey. Parcels 1, 2 & 3 as depicted on the Survey shall have the right to use the right of way for ingress and egress. Each parcel owner shall be solely responsible for the expense of maintaining and repairing any portion of the right of way that solely serves his or her property. The

expense for maintaining and repairing any shared portion of the right of way shall be shared equally. Parcel #1 shall not be responsible for sharing the expense until construction is started on that parcel. Construction shall be defined as site work that requires use of the road on a regular basis.

The property benefits from an easement for a sewer line and underground utilities across Parcels #2 and #3 as depicted on the Survey. Included in this is the right to enter upon Parcel 2 and 3 to install, maintain, repair and replace the sewer line and underground utilities, doing no unnecessary damage. To the extent Parcel 2 or 3 are disrupted in the installation, maintenance, repair, or replacement of the sewer line or underground utility easements, the owner of Parcel 1 shall be obligated to return Parcel 2 and/or 3 to as close as their original condition as possible. The sewer line shall be located in the area designated sewer easement on the Survey. Should its repair or replacement require relocation, the parties shall agree in writing as to the new location.

Said property is subject to the terms and conditions of WW-3-0114 dated February 8, 1990 and EC-3-1694 dated February 8 and recorded March 2, 1990 in Book 99, Page 16 of the Town of Woodstock Land Records. Said property is also subject to WW-1-0114-1 and EC-3-0114-1 both dated August 14, 2014 and recorded August 18, 2014 in the Town of Woodstock Land Records. The property is further subject to the following Town of Woodstock Zoning Permits: Permit T-3429-09 dated May 10, 2004; Permit T-1987-92; Permit T-4508-14 dated and recorded July 29, 2014 in Book 246, Page 384 of the Woodstock Land Records.

Reference is hereby made to the abovementioned deeds and survey and to the records thereof, and to the deeds and records therein referred to in aid of this description.

TO HAVE AND TO HOLD said granted premises, with all the privileges and appurtenances thereof, to the said Grantee, **Rose Hill VT REAL ESTATE, LLC**, and its successors and assigns, to their own use and behoof forever; And the said Grantor, **Benjamin Herndon**, for myself and my heirs and assigns, does covenant with the said Grantee, **Rose Hill VT REAL ESTATE, LLC**, and its successors and assigns, that until the ensembling of these presents I am the sole owner of the premises, including all privileges and appurtenances, and have good right and title to convey the same in manner aforesaid, that they are **FREE FROM EVERY ENCUMBRANCE** except as hereinabove mentioned or referred to; And the said Grantor, **Benjamin Herndon**, do hereby engage to **WARRANT AND DEFEND** the same against all lawful claims whatever, except as hereinabove mentioned or referred to.

Dated at White River Junction, VT, this 3rd day of June, 2021.

Benjamin Herndon, by Benjamin E. Percy

his Attorney in fact

**Benjamin Herndon, by Benjamin E. Percy, his
Attorney in Fact**

STATE OF VERMONT)
WINDOR COUNTY) SS.

At White River Junction, VT, this 3rd day of June, 2021, **Benjamin E. Percy, Attorney in Fact
for Benjamin Herndon**, personally appeared and he acknowledged this instrument, by him sealed and
subscribed, to be his free act and deed and the free act and deed of **Benjamin Herndon**.

Denise M. Fadden
Notary Public State of Vermont
Commission Expires: 1/31/23
Commission #: 0004476

Before me *Denise M. Fadden*
Notary Public
Expiration Date: 01/31/2023

Vermont Property Transfer 32 V.S.A. Chap. 231

-ACKNOWLEDGEMENT-

Return Received

Signed *Carol M. Wood Asst. Clerk*
Date *June 7, 2021*

WOODSTOCK, VT TOWN CLERK'S OFFICE
RECEIVED FOR RECORD

June 7 A.D. 20 *21*
at *9* o'clock *30* minutes *4* M
and recorded in Book *280* Page *259-261*
Attest: *Carol M. Wood*

Asst. Town Clerk

Town of Woodstock
Application for Sewer Connection/Repair/Increased Discharge
Residential Application

To: Board of Sewer Commissioners of the Town of Woodstock

Application is hereby made by the undersigned pursuant to the Town of Woodstock Sewer Ordinance to:

New Connection X Increase Repair

Amount of g.p.d. for new connection or increase: 362.5

At the following location: Map 30 Block 21 Lot 20.002

Applicant name: Todd & Jamie Korlesky

Phone number: 908-246-8754

Street address: 184 Rose Hill Road

Woodstock, VT 05091

Email: korlesky7@gmail.com

Description of work to be done: New 3 bedroom single family house on vacant residential lot.

Current number of bedrooms: 0

Total bedrooms after work: 3

Applicant agrees to install low flow plumbing fixtures. Further, applicant agrees to be responsible for repairing or replacing any damage done to Town sewer lines, streets/roads/sidewalks and to see that said repair/connection is done in accordance with the applicable Town Sewer Regulations or as determined by the Municipal Manager. The applicant also agrees to hold the Town and Village harmless from any damage/injury caused by a third party. The applicant agrees to pay the

designated application fee to the Town at the time of the application for this permit and to advise the Director of Public Works in advance of construction to permit scheduling of the repair inspection.

Applicant must obtain easements from all affected landowners if any part of the sewer line passes on lands of another landowner.

See below for fee schedule.

By signing the application, I understand that I also need to obtain a potable water supply and wastewater disposal permit from the State of Vermont.

Contact the State by telephone at (802) 591-0338 or by email at terry.shearer@vermont.gov

Additionally, I understand that once the connection is made, I am required to submit an "as built" drawing of the actual connection prepared by the installer to the Town of Woodstock before the permit is issued.

Signature: Todd Korlesky
Date: 4-9-25

Owner name: Todd & Jamie Korlesky
Street address: 184 Rose Hill Road
Woodstock, VT 05091
Mailing address: 157 Nettles Lane
Perkasie, PA 18944
Telephone: 908-246-8754

Please mail or email this application to:

Town of Woodstock
PO Box 488
Woodstock, VT 05091

permits@townofwoodstock.org

OFFICE USE ONLY

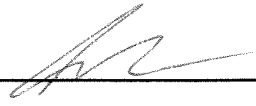
Woodstock Connection Fee Schedule:

Development fee: \$2,718.25 (\$7.50 x gpd reserve capacity)

Received by: _____ Date: _____

Check #: _____

The permit fee will be refunded in full (without interest) if revoked, withdrawn, or not executed within ONE YEAR.

Approved by Manager: 

Date: 4/11/05

**This permit is good for ONE YEAR from the date of approval.

Permit number: _____

164 Main Street, Suite 201 | Colchester, Vermont | P: (802) 878-0375 | Seth.Goddardl@krebssandlansing.com

Date: April 9, 2025

To: Board of Sewer Commissioners of the Town of Woodstock

From: Seth Goddard, PE

Re: 184 Rose Hill Road, Woodstock – Wastewater Design Flow Calculations

Wastewater Design flow for a 3-bedroom single family house to connect to Woodstock municipal sewer system = 210 GPD (per VT Wastewater System and Potable Water Supply Rules)

The proposed sewer service line is over 500' in length so infiltration must be accounted for per the VT Wastewater System and Potable Water Supply Rules.

Infiltration Calculations:

Length = 671'

Pipe Diameter = 4"

Infiltration Rate = 300 gal/in/mile

Additional Flow = $671' \times (300 \text{ gal/in/mile} / 5,280 \text{ ft}) \times 4" = 152.5 \text{ GPD}$

Total Design Flow and Allocation Request = 362.5 GPD (210 GPD + 152.5 GPD)



184 Rose Hill Road

Town of Woodstock, VT

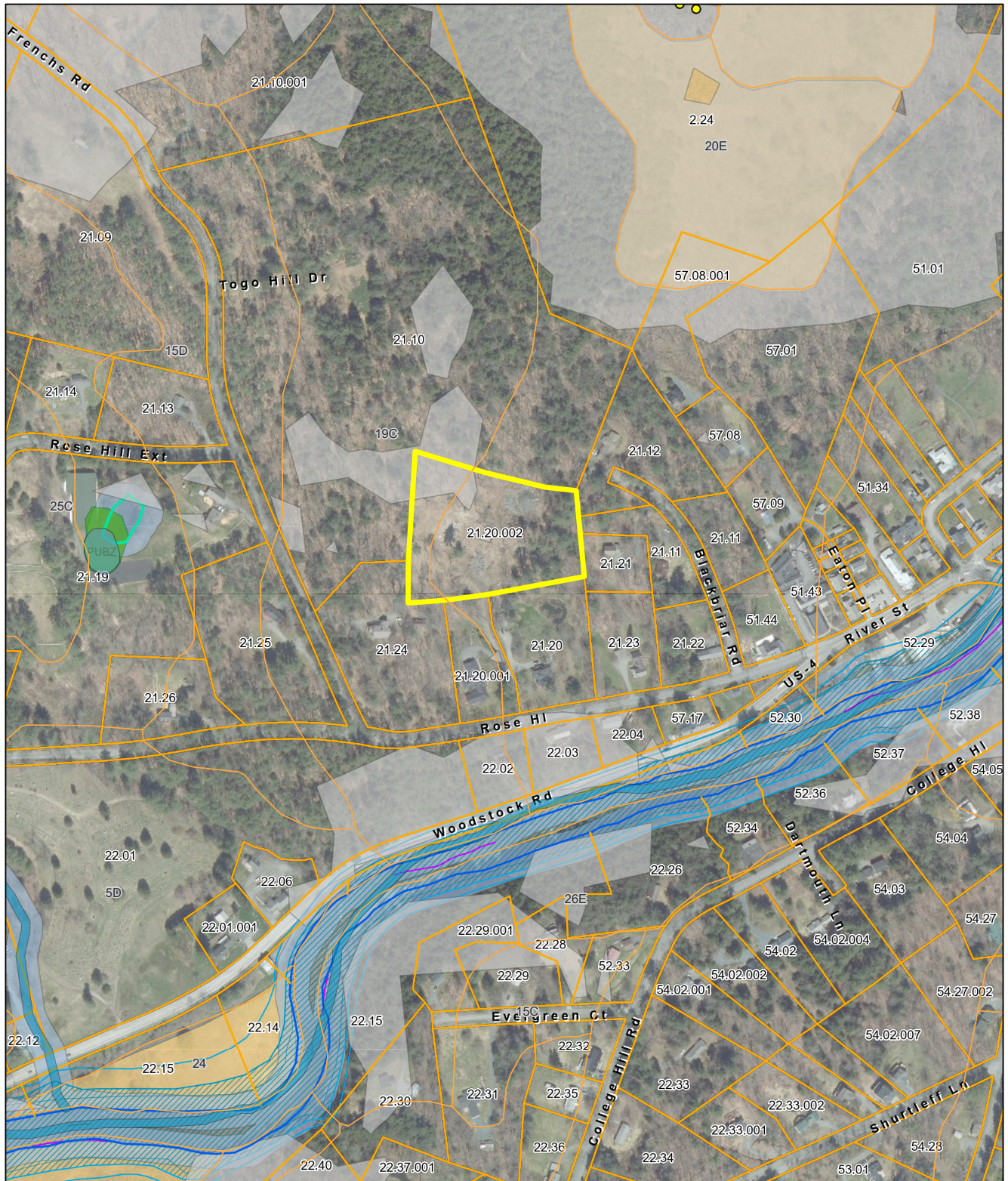


May 2, 2025

1 inch = 300 Feet

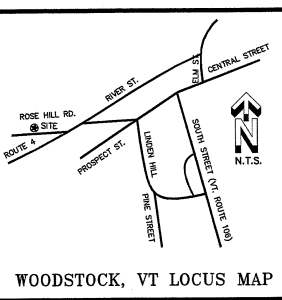
www.cai-tech.com

0 300 600 900



Soils	Soil --10- and Slope >= 15%
PWater	100 Year Floodplain
Property Line	500 Year Floodplain
Public Road	Wetlands (2004 Arrowood Environmental Report)
Water-poly	VT Significant Wetlands Inventory
Vernal Pool	50 Foot Surface Water Buffer
Rivershore S1 or S2	Swamps Floodplain Forests Fens S2
Slope > 25%	Palustrine

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

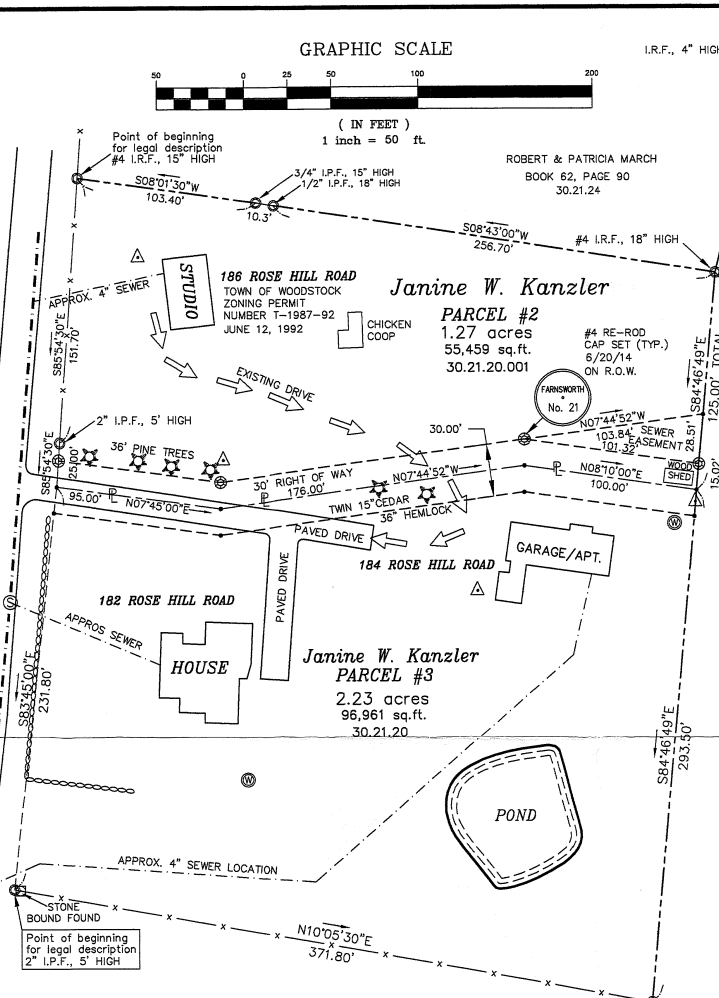


LEGEND:

PROPERTY LINE	---
FENCE (WOVEN)	x - x
STONEWALL	— — — — —
DRIVE	→ → →
STREAM	~ ~ ~
RIGHT OF WAY	- - - - -
IRON PIN FOUND	○ I.R.F.
IRON PIPE FOUND	△ I.P.F.
TRAVERSE POINT	△ MAG-HUB
ANGLE POINT	•
RE-ROD W/CAP SET	○ RE-ROD CAP
POWER POLE	⊕
BOUND	⊞
PROPERTY LINE	⊞
DRILLED WELL	⊙
SEWER MANHOLE	⊙

GENERAL NOTES:

- (GN1) THE METHOD OF SURVEY WAS WITH A SOKKIA SET 4 TOTAL STATION.
- (GN2) THIS SURVEY MEETS CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS.
- (GN3) BOUNDARY SURVEY DATA ON THIS PLAT PROVIDE A CLOSED GEOMETRIC FIGURE.
- (GN4) BEARINGS SHOWN ARE REFERENCED TO A MAGNETIC MERIDIAN AND SERVE ONLY TO DEFINE ANGULAR RELATIONSHIPS BETWEEN COURSES.
- (GN5) THE TITLE HOLDER OF RECORD IS DESCRIBED IN BOOK 123, PAGE 101.
- (GN6) EASEMENTS OR SERVITUDES ARE AS SHOWN OR DEEDED.
- (GN7) TOWN ROAD RIGHT OF WAY LIMITS ASSUMED @ 3 RODS.
- (GN8) SURVEY FIELD WORK STARTED JUNE 18, 2014.
- (GN9) HAROLD & ELIZABETH CONNER MYLAR PERIMETER SURVEY FILED 6/29/92.
- (GN10) SEE BRUNO ASSOCIATES MAPS FOR EXISTING SEWER LINES TO STRUCTURES.
- (GN11) REFERENCED TO BRUNO ASSOCIATES, INC. SUBDIVISION MAPS FOR: HAROLD & ELIZABETH T. CONNER DATED SEPT. 15, 1986 WITH THE LAST REVISION DATED FEB. 5, 1990. DIVISION OF PROTECTION APPROVAL FOR THE TWO LOT SUBDIVISION WAS APPROVED 2/8/90. (PERMIT #EC-3-1642 & #WW-3-0114)



PARCEL #2 Legal Description Report

Beginning at an Iron Rod found on the north-erly right of way of Rose Hill Road, being the southwest corner of this Parcel:
 thence S 85°54'30" E a distance of 151.70';
 thence S 85°54'30" E a distance of 25.00';
 thence N 07°45'00" E a distance of 95.00';
 thence N 07°44'52" W a distance of 176.00';
 thence N 08°10'00" E a distance of 100.00';
 thence N 84°46'49" W a distance of 125.00';
 thence S 08°43'00" W a distance of 256.70';
 thence S 08°36'30" W a distance of 10.30';
 thence S 08°01'30" W a distance of 103.40';
 which is the point of beginning,
 having an area of 55,459 square feet,
 1.27 acres

PARCEL #3 Legal Description Report

Beginning at an Iron Pipe found on the north-erly right of way of Rose Hill Road, being the southeast corner of this Parcel:
 thence N 10°05'30" E a distance of 371.80';
 thence N 84°46'49" W a distance of 293.50';
 thence S 08°10'00" W a distance of 100.00';
 thence S 07°44'52" E a distance of 176.00';
 thence S 07°45'00" W a distance of 95.00';
 thence S 83°45'00" E a distance of 231.80';
 which is the point of beginning,
 having an area of 96,961 square feet,
 2.23 acres

PARCEL #1 Legal Description Report

Beginning at an Iron Pipe found on the north-west corner of Parcel #2:
 thence N 76°28'30" W a distance of 108.20';
 thence N 16°16'30" E a distance of 122.40';
 thence N 18°02'00" E a distance of 328.20';
 thence S 61°08'00" E a distance of 231.50';
 thence S 62°38'38" E a distance of 181.22';
 thence S 59°11'30" E a distance of 79.40';
 thence S 10°13'30" W a distance of 78.00';
 thence S 09°57'30" W a distance of 53.90';
 thence S 10°05'00" W a distance of 129.40';
 thence N 84°46'49" W a distance of 293.50';
 thence N 84°46'49" W a distance of 125.00';
 which is the point of beginning,
 having an area of 181,432 square feet,
 4.17 acres

"Notice of permit requirements. In order to comply with applicable state Rules concerning potable water supplies and wastewater systems, a person shall not construct or erect any structure or building on the lot of land described in this deed if the use or useful occupancy of that structure or building will require the installation of or connection to a potable water supply or wastewater system, without first complying with the applicable Rules and obtaining any required permit. Any person who owns this property acknowledges that this lot may not be able to meet state standards for a potable water supply or wastewater system and therefore this lot may not be able to be improved."

Woodstock Town Clerk's Office
Received for record

_____ A.D. 201__
 at ___ o'clock ___ minutes ___ M and
 Recorded in Book ___ Page ___ Slide ___
 Attest _____ Town Clerk

Janine W. Kanzler
PARCEL #1

4.17 acres
 181,432 sq.ft.
 30.21.20.002

Drinking Water and Groundwater Protection Division
 THIS IS SUBJECT TO PROVISIONS OR CONDITIONS LISTED IN PERMIT
 Permit Number: 4-1
 Dated: 4-1-14

WILLIAM B. EMMONS, TRUSTEE
 BOOK 233, PAGE 309
 30.21.10

CERTIFICATION:
 THIS SURVEY IS BASED ON MONUMENTATION FOUND, TOPOGRAPHIC EVIDENCE, CONVERSATIONS WITH VARIOUS INDIVIDUALS AND DEED DESCRIPTIONS.
 IT IS CONSISTENT WITH THIS INFORMATION TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.
 THIS PLAT MEETS THE REQUIREMENTS OF 27 VSA § 1403
 Robert W. Farnsworth 7/7/14
 ROBERT W. FARNSWORTH R.L.S. #21 DATE
 BLUEPRINTS (COPIES) ARE NOT CERTIFIED UNLESS SIGNED & DATED.

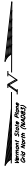
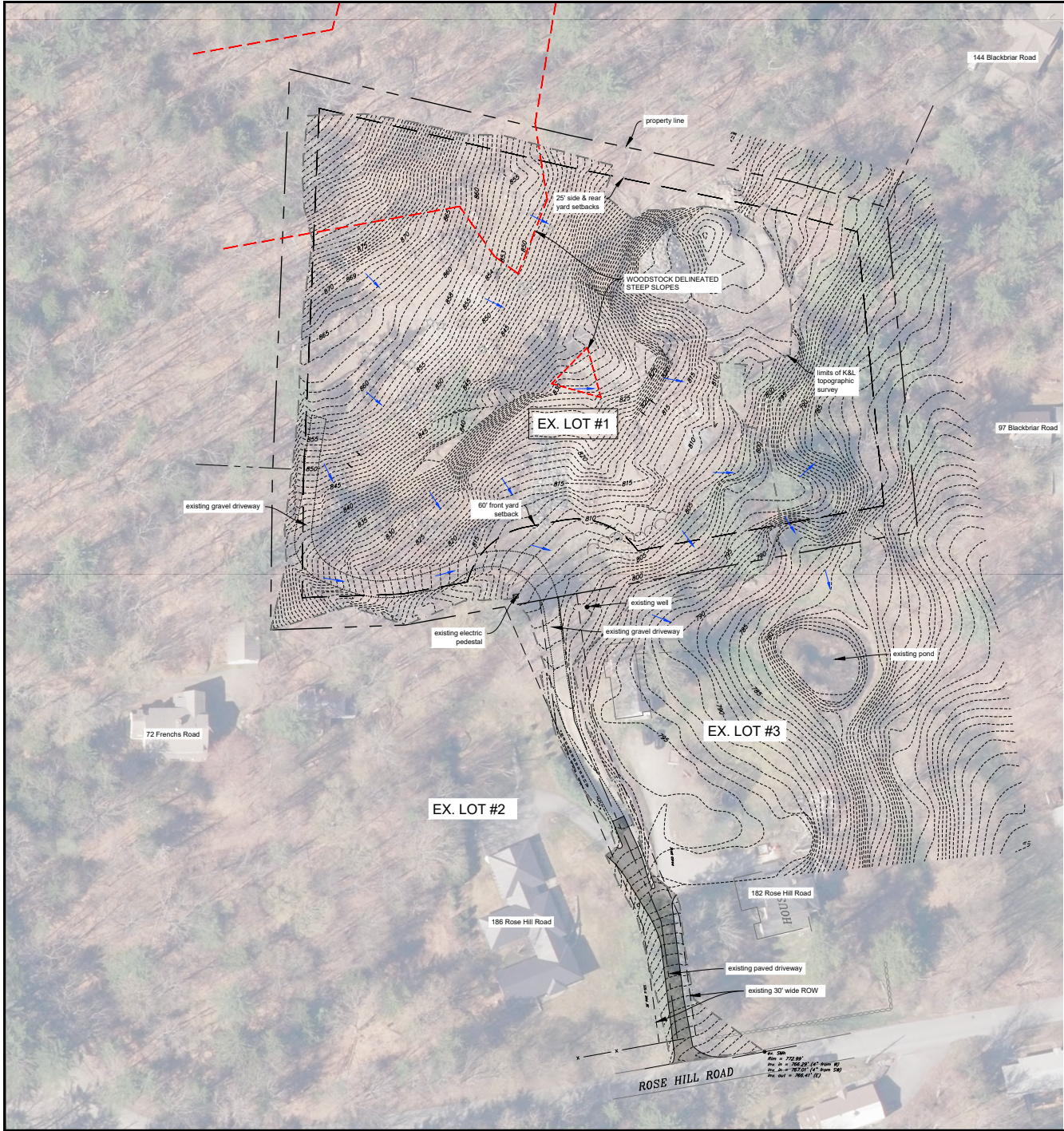
REVISIONS: 6/25/14 - 7/02/14 - R.W.F.

SUBDIVISION FOR:
Janine W. Kanzler
ROSE HILL ROAD
WOODSTOCK, VERMONT

Farnsworth Surveys P.O. BOX 68
 BROWNSTOWN, VERMONT
 (802)484-9731 05037

DRAWING NO.: 14-2239	FULL SCALE: 1" = 50'
DATE: JUNE 19, 2014	DRAWN BY: R.W.F.
	SURVEY BY: K.B. & et al
	COMPUTER NAME: KANZLER.DWG

STATE OF VERMONT
 ROBERT W. FARNSWORTH
 No. 21
 REGISTERED LAND SURVEYOR
SUBDIVISION UPDATED



LEGEND

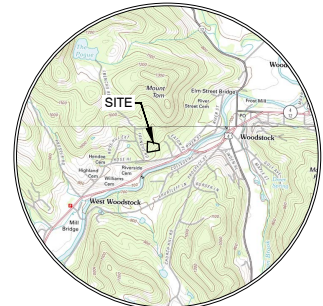
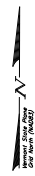
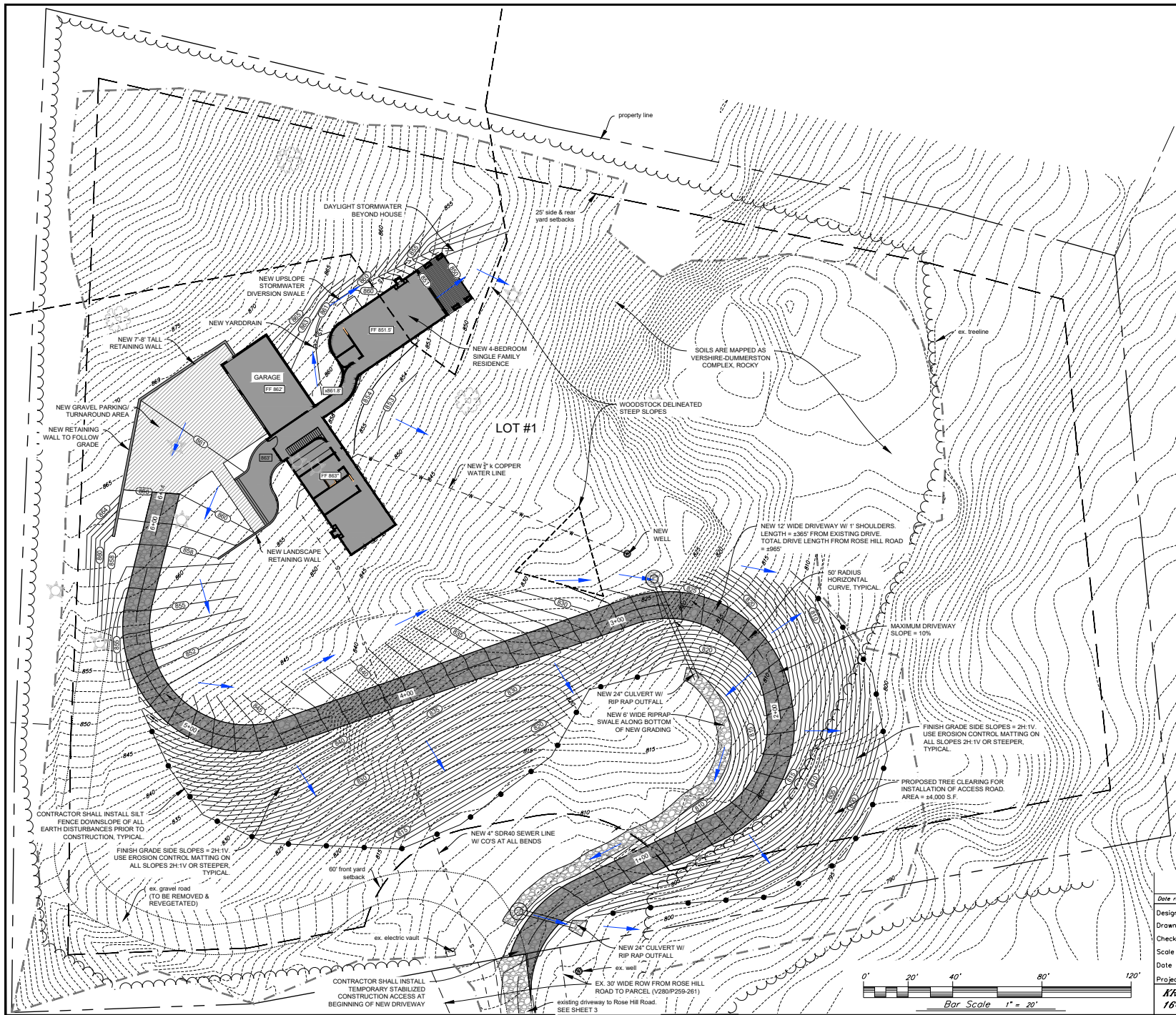
- PROPERTY LINES
- ACCESS & UTILITY ROW
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING STONE WALL
- EXISTING TREES
- EXISTING GRADE CONTOUR LINES (5 FOOT INTERVALS)
- EXISTING GRADE CONTOUR LINES (1 FOOT INTERVALS)
- SETBACKS
- WOODSTOCK DELINEATED STEEP SLOPES (>25%)
- EX. GRAVEL ROAD (PRIVATE)
- EX. PAVED ROAD (PRIVATE)
- DIRECTION OF STORMWATER FLOW

Notes:

- This plan is not a boundary survey. The property lines are based on boundary monumentation located in the field & a plat titled "Subdivision for Janine W. Kanzler, Rose Hill Road, Woodstock, Vermont" by Farnsworth Surveys dated June 19, 2014 and last revised July 2, 2014.
- The property has access from Rose Hill Road through a 30' right of way.
- The underground utilities are approximate. DIG SAFE shall be called prior to any excavation.
- Elevations are based on a topographic survey by Krebs & Lansing on October 22, 2024 and LIDAR.
- Project Horizontal Coordinates are based on the NAD83 VT State Plane (FT).
- Vertical elevations are based on the NAVD 88 (Geoid 12A) vertical datum.



Date revised	Description	Checked	Date
Design	Existing Conditions Plan		
Drawn	SDG/LB		
Checked	SDG		
Scale	1"=40'		
Date	05/02/25		
Project	23318	184 Rose Hill Road	Woodstock, Vermont
KREBS & LANSING Consulting Engineers, Inc. 164 Main Street, Colchester, Vermont 05446			
1			



Location Map

Scale: 1"=1/2 mile

LOT INFO & COVERAGE CALCULATIONS:

PARCEL ADDRESS: 184 ROSE HILL ROAD, WOODSTOCK, VT
OWNER: TODD & JAMIE KORLESKY
PARCEL ID: 21.20.002
SPAN #: 786-259-12089
PARCEL AREA = 4.17 ACRES
ZONED: RESIDENTIAL ONE ACRE
SIDE SETBACK MINIMUM = 25' (AS SHOWN = 85')
REAR SETBACK MINIMUM = 25' (AS SHOWN = 65')
FRONT SETBACK MINIMUM = 60' (AS SHOWN = 192')
FRONTAGE - 30' WIDE ACCESS RIGHT OF WAY
MAXIMUM BUILDING HEIGHT = 35'

- EXISTING CONDITIONS:
- BUILDING COVERAGE: ±0 S.F. (0%)
 - OVERALL IMPERVIOUS SURFACE COVERAGE: ±4,480 S.F. (±0.10 ACRES)
 - PERCENT COVERAGE: 2.3%

- PROPOSED CONDITIONS:
- BUILDING COVERAGE: ±4,448 S.F. (2.4%)
 - OVERALL IMPERVIOUS SURFACE COVERAGE (INCLUDES BUILDING): ±14,600 S.F. (±0.34 ACRES)
 - PERCENT COVERAGE: 6.1%

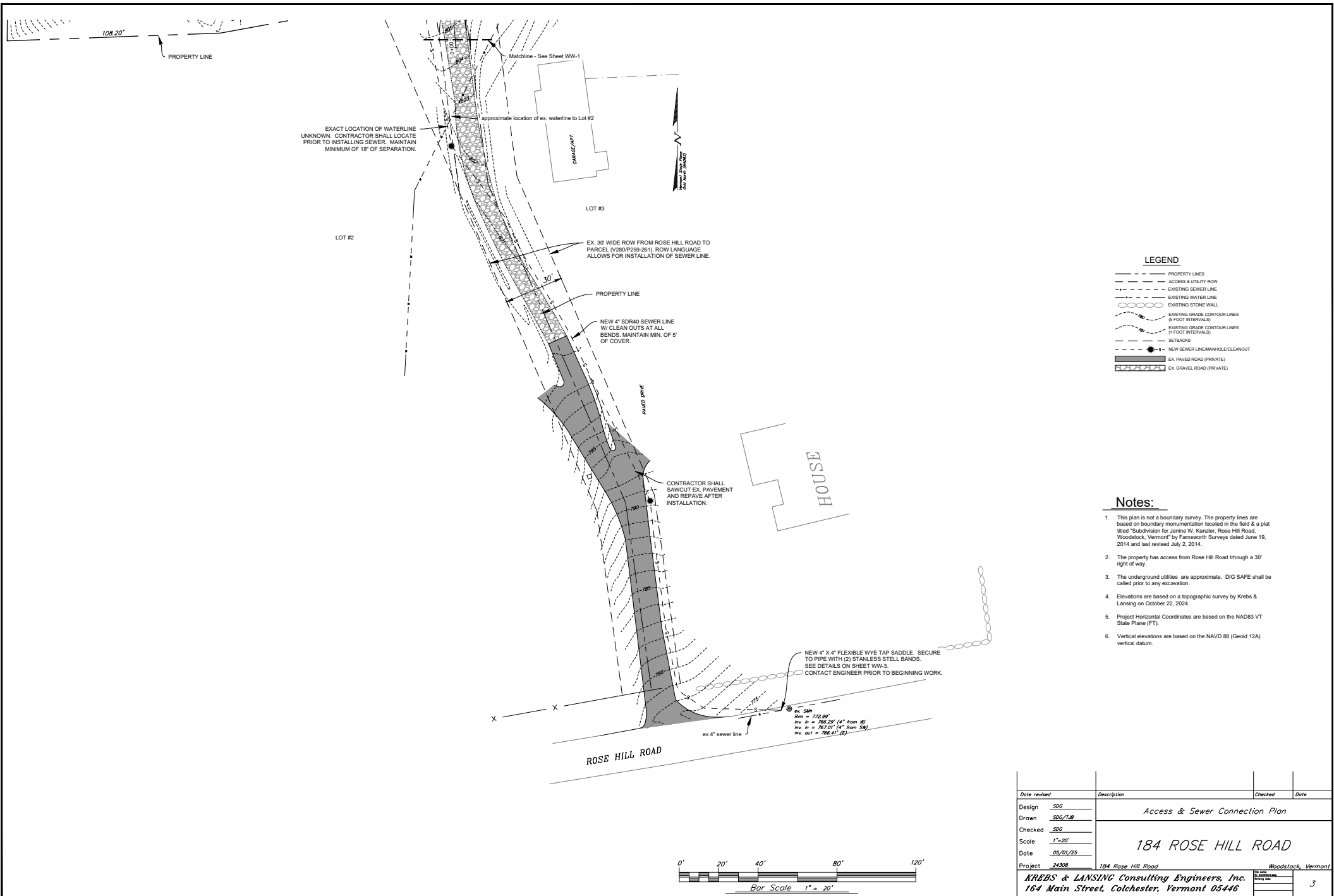
LEGEND

- PROPERTY LINES
- ACCESS & UTILITY ROW
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING TREE LINE
- EXISTING STONE WALL
- EXISTING GRADE CONTOUR LINES (5 FOOT INTERVALS)
- EXISTING GRADE CONTOUR LINES (1 FOOT INTERVALS)
- EXISTING TREES
- SETBACKS
- WOODSTOCK DELINEATED STEEP SLOPES (>25%)
- NEW WELL
- NEW WATERLINE
- NEW SEWER LINE/MANHOLE/CLEANOUT
- NEW STORM LINE/YARD DRAIN
- EX. GRAVEL ROAD (PRIVATE)
- NEW GRAVEL ROAD (PRIVATE)
- NEW FINISH GRADE CONTOUR LINES (5 FOOT INTERVALS)
- NEW FINISH GRADE CONTOUR LINES (1 FOOT INTERVALS)
- TEMPORARY SILT FENCE
- DIRECTION OF STORMWATER FLOW

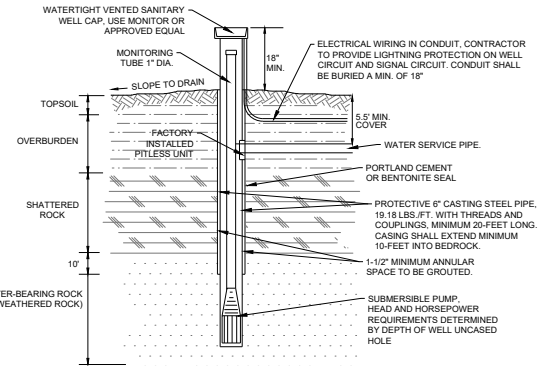
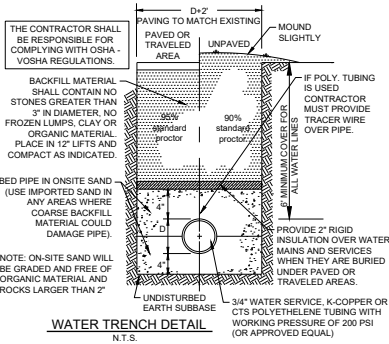
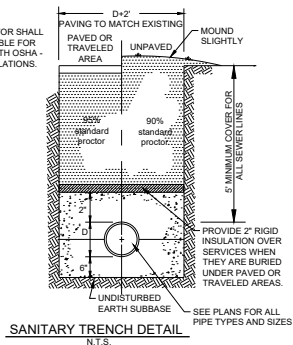
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- Project Horizontal Coordinates are based on the NAD83 VT State Plane (FT).
- Vertical elevations are based on the NAVD 88 (Geoid 12A) vertical datum.
- All work shall be done in accordance with the VT Low Risk Site Handbook for Erosion Prevention & Sediment Control. Contractor shall follow Winter Construction Requirements from Oct. 15 - April 15.

Date revised	Description	Checked	Date
Design	SDG		
Drawn	SDG/TLB		
Checked	SDG		
Scale	1"=20'		
Date	05/02/25		
Project	24308		
184 Rose Hill Road			
Woodstock, Vermont			
KREBS & LANSING Consulting Engineers, Inc. 164 Main Street, Colchester, Vermont 05446			
2			

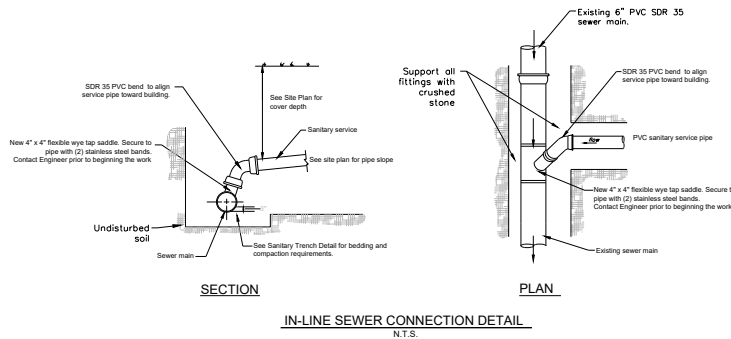


THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH OSHA - VOSHA REGULATIONS.



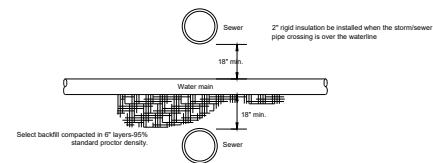
- NOTES
1. COMPLETE WATER SYSTEM SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND VERMONT HEALTH REGULATIONS.

TYPICAL DRILLED WELL SECTION
N.T.S.

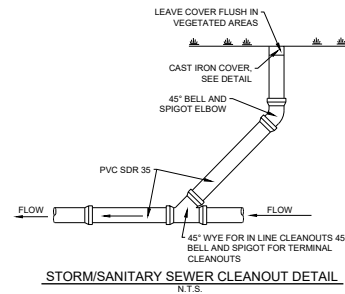
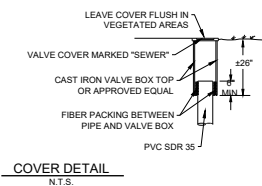
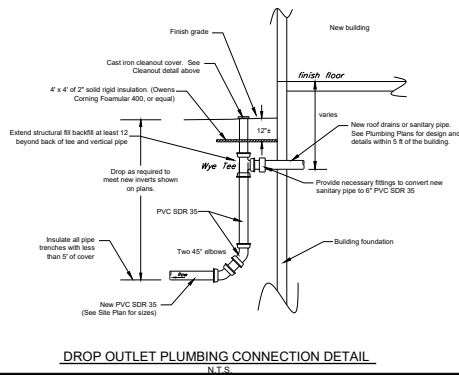


CONFIRM SEWER MAIN SIZE PRIOR TO INSTALLING SADDLE

- NOTES:
1. The location of sewer/storm mains in relation to water mains shall be in accordance with the Vermont Water Supply Rules.
 2. Water mains shall be laid at least 10 feet horizontally from any existing or proposed sanitary manholes, sanitary sewer, or force mains. Storm sewers and manholes shall be at least 5 feet horizontally from any existing or proposed water main. The distance shall be measured edge to edge. If this distance cannot be obtained variance shall be approved by the ANR Drinking Water & Groundwater Protection Division.
 3. 18" separation shall be maintained whether water is over or under sewer. At crossings, one full length of water pipe shall be located so both joints are as far from the sewer as possible. If the sewer main is over the water main, the water main shall be wrapped in V-Bio Enhanced Polyethylene Encasement in accordance with the manufacturer's requirements. At a minimum, the V-Bio wrap shall extend beyond the water pipe joint on each side of the sewer pipe crossing. If the 18" vertical separation distance cannot be obtained, then a variance must be approved in accordance with the Water Supply Rule.
 4. A minimum separation of 25 ft. shall be maintained between waterlines and underground storage tanks. 50 ft. separation is preferred, if possible.



SEWER / WATER SEPARATION DETAIL
N.T.S.



Date revised	Description	Checked	Date
Design	SDG		
Drawn	SDG		
Checked	SMV		
Scale	N.T.S.		
Date	05/02/25		
Project	24308		
	184 Rose Hill Road		
	Woodstock, Vermont		
	KREBS & LANSING Consulting Engineers, Inc.		
	164 Main Street, Colchester, Vermont 05446		
			4

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DISTURBED AREAS BACK TO ORIGINAL CONDITION, INCLUDING BUT NOT LIMITED TO CURBING, SIDEWALKS, ROAD, PARKING AREAS, LANDSCAPING, SITE LIGHTING, ELECTRICAL, AND ETC. ALL ASPHALT SHALL BE SAW-CUT PRIOR TO PAVING.
2. THE METHODS AND MATERIALS OF CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS OF THE STATE OF VERMONT AND TOWN OF NEW HAVEN. ALL WORK SHALL BE IN CONFORMANCE WITH ALL PERMITS AND APPROVALS ISSUED FOR THE PROJECT. IN CASE OF CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY AS DIRECTED BY ENGINEER. ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER AND COMPLETED IN THE TIME SPECIFIED BY OWNER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS SHOWN AND REQUIRED TO MAKE THE JOB COMPLETE. THESE DRAWINGS DO NOT SHOW EVERY FITTING OR APPURTENANCE. MATERIALS SHALL BE AS SPECIFIED ON THE DRAWINGS. MANUFACTURER'S PRODUCT SPECIFICATIONS SHALL BE SUBMITTED FOR ALL MATERIALS TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
4. THE LOCATION AND SIZE OF EXISTING UNDERGROUND UTILITIES IS NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES AND SHALL CONTACT THE AFFECTED UTILITY COMPANY, THE ENGINEER AND THE MUNICIPALITY PRIOR TO MAKING ANY HOOK UPS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXISTING UTILITIES AND THEIR UNINTERRUPTED SERVICES. ALL OFF-SITE BACKFILL, SHEETING, SHORING, DEWATERING, CLEARING AND GRUBBING, EROSION CONTROL, DUST CONTROL, TRAFFIC CONTROL, GRADING, AND ALL INCIDENTALS SHALL BE INCLUDED AS PART OF THE REQUIRED WORK.
5. THE CONTRACTOR SHALL VERIFY ALL TEMPORARY BENCH MARKS BEFORE USE.
6. THE WORKMEN AND PUBLIC SHALL BE PROTECTED BY THE CONTRACTOR FROM ANY AND ALL HAZARDS CONNECTED WITH THE CONSTRUCTION WORK. OPEN TRENCHES, MATERIALS, OR EQUIPMENT WITHIN THE WORKING LIMITS ARE TO BE GUARDED BY THE USE OF ADEQUATE BARRICADES OR FLAGMEN. ALL BARRICADES LEFT IN POSITION OVERNIGHT ARE TO BE PROPERLY LIGHTED. KEROSENE POTS ARE NOT ACCEPTABLE. WHEN WORK NARROWS THE USABLE PAVEMENT, FLAGMEN SHALL BE EMPLOYED TO AID THE FLOW OF TRAFFIC SO THAT THERE WILL BE NO UNDUE DELAYS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE SAFETY OF ALL WORKMEN, THE GENERAL PUBLIC AND ALL DAMAGES TO PROPERTY OCCURRING FROM OR UPON THE WORK OCCASIONED BY NEGLIGENCE OR OTHERWISE GROWING OUT OF A FAILURE ON THE PART OF THE CONTRACTOR TO PROTECT PERSONS OR PROPERTY FROM HAZARDS OF OPEN TRENCHES, MATERIALS, OR EQUIPMENT AT ANY TIME OF THE DAY OR NIGHT WITHIN THE WORKING AREA. ALL WORK SHALL BE IN CONFORMANCE TO OSHA REGULATIONS, TITLE 19, PARTS 1920.851 AND 1926.652, AND APPLICABLE TO VOSHIA REGULATIONS.
7. THE CONTRACTOR SHALL VERIFY ALL UTILITY INTERSECTIONS AND CONTACT ENGINEER AND OWNER WITH CONFLICTS.
8. THE CONTRACTOR SHALL CALL, DIG SAFE PRIOR TO ANY EXCAVATION.
9. THE CONTRACTOR SHALL COORDINATE FINAL LOCATION AND INVERTS FOR WATER, SEWER, AND STORM BUILDING CONNECTIONS WITH THE ARCHITECT, STRUCTURAL ENGINEER, AND MECHANICAL ENGINEER.
10. ALL STUMPS, ROCK, AND OTHER NON-APPROVED TRENCH BACKFILL MATERIAL DISCOVERED DURING CONSTRUCTION IS THE EXCLUSIVE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF IN A STATE APPROVED DISPOSAL LOCATION. ALL EXISTING SOILS REUSED FOR FILL SHALL CONFORM TO ALL APPLICABLE SECTIONS OF VTTRANS SPECIFICATIONS SECTION 203-EXCAVATION & EMBANKMENTS. CONTRACTOR SHALL REVIEW SOIL INVESTIGATION REPORT AND SOILS LOGS PRIOR TO BID. ANY SOIL REUSED AS FILL UNDER ROADS AND APPLICABLE CONCRETE SIDEWALKS SHALL PASS A SUBGRADE PROOF ROLL WITH A LOADED TANDEM. FILL SOILS THAT DO NOT PASS A SUBGRADE PROOF ROLL SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
11. ALL PASSING SIEVE, PROCTOR, AND COMPACTION TESTING EXPENSES SHALL BE PAID BY OWNER. TESTING COORDINATION, ALL OTHER REQUIRED TESTING, AND EXPENSES FOR FAILED TESTS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
12. THE CONTRACTOR SHALL CONTACT GREEN MOUNTAIN POWER (GMP) AND/OR VERMONT ELECTRIC CO-OP PRIOR TO ANY WORK IN THE VICINITY OF THE EXISTING ELECTRIC CONDUITS.
13. THIS PROJECT WILL LIKELY NOT REQUIRE COVERAGE UNDER AN STATE OF VERMONT GENERAL CONSTRUCTION STORMWATER DISCHARGE PERMIT. THE CONTRACTOR WILL STILL FOLLOW RULES, REGULATIONS, AND DIRECTION OUTLINED IN THE STATE OF VERMONT "LOW RISK HANDBOOK FOR EROSION PREVENTION AND SEDIMENT CONTROL" FROM FEBRUARY 2020. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, MAINTAINING AND REMOVING ALL EROSION AND SEDIMENT CONTROL DEVICES SHOWN ON THE PLANS OR DETAILS AND, TO THE MAXIMUM EXTENT PRACTICAL, TO MINIMIZE POTENTIAL CONTAMINATION OF STORMWATER RUNOFF FROM THE CONSTRUCTION ACTIVITIES.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL "AS-BUILT" MEASUREMENT AND DRAFTING REQUIREMENTS AS OUTLINED ON THE DETAIL SHEETS. ALL TRENCH EXCAVATIONS SHALL REMAIN OPEN UNTIL ALL AS-BUILT SURVEY SHOTS HAVE BEEN TAKEN. PROGRESS RECORD DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER AS INDICATED IN THE RECORD DRAWING SPECIFICATIONS.
15. SEE EROSION CONTROL AND LOGISTICS PLANS FOR LOCATIONS OF STAGING / STORAGE AREAS. PROJECT WILL LIKELY GENERATE EXCESS FILL WHICH NEEDS TO BE REMOVED FROM THE SITE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SIGNAGE AND CONSTRUCTION BARRIERS/SAFETY FENCING NECESSARY FOR PROVIDING SAFE VEHICULAR AND PEDESTRIAN ACCESS THROUGH OR AROUND THE SITE DURING CONSTRUCTION.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS OF IMPORTING AND PLACING TOPSOIL AND/OR COMPOST NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL TEST TOPSOIL FOR APPROVAL BY THE OWNER AND ENGINEER.
18. ALL SEWER AND STORM PIPES SHALL BE PVC SDR 35 UNLESS OTHERWISE NOTED. ALL NEW SANITARY AND STORM PIPES SHALL BE LAID WITH A LASER TO ELEVATION AND SLOPE AS SHOWN ON THE PLANS.
19. CORE AND BOOT ALL EXISTING STRUCTURES UNLESS OTHERWISE NOTED.
20. TEMPORARY GROUNDWATER, STORMWATER, AND SEWER BY-PASS PUMPING AND/OR DIVERSION IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY PUMPS AND EQUIPMENT TO PERFORM THE WORK. OVERNIGHT PUMPING IS NOT ALLOWED.
21. CONTRACTOR SHALL MAINTAIN FULL OCCUPANCY AND FIRE DEPARTMENT ACCESS TO ALL SURROUNDING BUILDINGS. COORDINATE ALL TEMPORARY ACCESS WITH THE MUNICIPALITY.
22. REMOVAL OF ALL EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR.
23. ELECTRICAL AND LIGHTING ARE SHOWN FOR ILLUSTRATIVE/COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS AND SPECIFICATIONS FOR DESIGN.
24. SEE LANDSCAPE AND/OR STRUCTURAL PLANS FOR ALL RETAINING WALLS, UTILITY PADS, STAIRS, AND EXTERIOR CONCRETE AT DOORS.
25. REFER TO PLUMBING, MECHANICAL AND/OR FIRE PROTECTION PLANS FOR WATER, SEWER AND STORM DESIGN WITHIN FIVE FEET OF THE BUILDING.

WATER & SEWER CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION OF WATER, STORM AND SANITARY SEWER SYSTEMS AS SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY ADAPTERS, FITTINGS, ETC. TO MAKE CONNECTIONS TO THE EXISTING AND PROPOSED UNITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK SHOWN OR IMPLIED ON THE PLANS AND/OR REFERENCED IN THE SPECIFICATIONS AND PERMITS. THE CONTRACTOR SHALL SUBMIT, FOR APPROVAL BY THE ENGINEER, ALL TYPES OF MATERIALS AND PRODUCTS USED.
2. ALL WATER INSTALLATION WORK AND WATER DISTRIBUTION MATERIALS MUST COMPLY WITH THE CURRENT STATE AND LOCAL SPECIFICATIONS.
3. THESE PLANS ARE NOT RESPONSIBLE FOR DESIGN OF WATER AND SEWER SERVICES WITHIN 5 FEET OF THE BUILDING. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR EXTENDING THE SERVICES TO THE PLUMBING AND/OR FIRE SYSTEM CONNECTION WITHIN THE BUILDING. SEE PLUMBING ENGINEER, MECHANICAL ENGINEER AND/OR FIRE PROTECTION PLANS FOR SCOPE, DESIGN AND SPECIFICATIONS WITHIN 5 FT. OF THE BUILDING.
4. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS AND APPURTENANCES TO COMPLETE THE CONSTRUCTION WORK. THIS INCLUDES TEMPORARY FITTINGS AND GAUGES NECESSARY TO SAFELY COMPLETE THE FLUSHING ACTIVITIES REQUIRED PRIOR TO MAKING CONNECTIONS WITH BUILDING PLUMBING.
5. THE PROJECT SHALL BE CONSTRUCTED, COMPLETED, MAINTAINED, AND OPERATED IN ACCORDANCE WITH THE APPROVED PLANS. NO CHANGES SHALL BE MADE IN THE PROJECT WITH OUT THE WRITTEN APPROVAL OF THE CIVIL ENGINEER.

WATER SERVICES

1. APPLIES TO NEW DOMESTIC SERVICES.

2. THE PIPE FOR WATER MAIN SHALL BE TYPE K-COPPER OR CTS POLYETHYLENE TUBING WITH WORKING PRESSURE OF 200 PSI. (OR APPROVED EQUAL). DUCTILE IRON FITTINGS SHALL CONFORM TO AWWA C110, 350 POUNDS WORKING PRESSURE. VALVES SHALL BE MANUFACTURED TO MEET ALL REQUIREMENTS OF AWWA SPECIFICATION C509.
3. ALL PIPE SHALL BE INSTALLED IN ACCORDANCE WITH AWWA C600. THE PIPE SHALL BE KEPT FREE OF FOREIGN MATTER AND DEBRIS DURING INSTALLATION. WHEN THE PROCESS OF PIPE LAYING HAS STOPPED, ANY OPEN ENDS OF PIPE SHALL BE PLUGGED. THERE SHALL BE A MINIMUM OF 6'-0" (1.82 M) COVER OVER ALL PIPE AND SERVICE LINES. ANY PIPE DEFLECTION SHALL NOT EXCEED FIFTY (50%) PERCENT OF RECOMMENDED MANUFACTURER'S MAXIMUM DEFLECTION. BACKFILL MATERIALS AND PROCEDURES SHALL BE AS DETAILED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL SHEETING AND/OR SHORING NECESSARY TO COMPLY WITH OSHA - VOSHIA REGULATIONS.

SANITARY SEWER

1. ALL SEWER LINES AND MANHOLES SHALL BE THOROUGHLY TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION RULES CHAPTER 1 WASTEWATER SYSTEM AND POTABLE WATER SUPPLY RULES (04/12/19).
2. ALL SANITARY MAINS SHALL BE AIR TESTED IN THE PRESENCE OF THE ENGINEER. AT A MINIMUM, THE TEST PRESSURE SHALL BE 4 POUNDS PER SQUARE INCH AT THE HIGHEST POINT ALONG THE TEST FOR 4 MINUTES.
3. UTILITY TESTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING SANITARY TESTING AT A MINIMUM OF 24 HOURS PRIOR TO THE TEST. BASED ON AVAILABILITY OF ENGINEER'S STAFF, THE ENGINEER SHALL ACCOMMODATE THE TESTING SCHEDULE WITHIN 24 HOURS OF THE CONTRACTOR REQUESTED TEST DATE/TIME.
4. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER IF PRE-SCHEDULED TESTING AND/OR WATER/SEWER CONSTRUCTION IS CANCELED. IF CONTRACTOR DOES NOT CONTACT ENGINEER AND ENGINEER VISITS THE SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENGINEER'S FEES/MILEAGE FOR SITE VISIT.

ADDITIONAL NOTES AND TESTING REQUIREMENTS

1. IN ADDITION TO THE ABOVE REQUIREMENTS AND APPLIES TO WATER AND SANITARY SEWER.
2. ALL WATER LINES AND SEWER LINES SHALL BE THOROUGHLY TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION RULES CHAPTER 1 WASTEWATER SYSTEM AND POTABLE WATER SUPPLY RULES (04/12/19) AND THE CHAPTER 21 WATER SUPPLY RULES (03/17/20). THE MORE STRINGENT RULE SHALL APPLY.
3. ALL PRIVATE OR MUNICIPAL WATERLINES SHALL BE TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN AWWA C600 AND/OR NFPA 24.
4. NO WATER MAIN SHALL BE CLOSER THAN TEN (10) FEET TO ANY SANITARY SEWER OR SANITARY MANHOLE AND FIVE (5) FEET TO ANY CATCH BASIN OR STORM SEWER LINE. PROVIDE MINIMUM OF 18" VERTICAL SEPARATION BETWEEN WATER MAIN AND STORM/SANITARY SEWER CROSSING.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AS-BUILTS TO SERVICE LOCATIONS, AND ANY WATER MAIN FITTINGS. AS-BUILTS SHALL BE RECORDED IN ACCORDANCE WITH THE OUTLINED PROCEDURES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ENGINEER AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION ON ANY PORTION OF THE EXTERIOR WATER OR SANITARY SYSTEMS. THIS NOTIFICATION REQUIREMENT SHALL CONTINUE TO THE COMPLETION OF THE WATER AND SANITARY SYSTEMS.
7. UTILITY TESTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING WATER AND SANITARY TESTING, WITH THE ENGINEER AND TOWN OF MILTON, AT A MINIMUM OF 24 HOURS PRIOR TO THE TEST. BASED ON AVAILABILITY OF ENGINEER'S STAFF, THE ENGINEER SHALL ACCOMMODATE THE TESTING SCHEDULE WITHIN 24 HOURS OF THE CONTRACTOR REQUESTED TEST DATE/TIME.
8. THE CONTRACTOR SHALL PRE-TEST WATER FOR 2 HOURS. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF PRE-TEST FAILED.
9. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER IF PRE-SCHEDULED TESTING AND/OR WATER/SEWER CONSTRUCTION IS CANCELED. IF CONTRACTOR DOES NOT CONTACT ENGINEER AND ENGINEER VISITS THE SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENGINEER'S FEES/MILEAGE FOR SITE VISIT.

AS-BUILT (RECORD) DRAWINGS FOR SITE UTILITIES

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE OWNER WITH A COMPLETE UTILITY RECORD DRAWING IN AUTOCAD AND PDF FORMAT. THE RECORD DRAWING SHALL MEETS THE SPECIFICATIONS BELOW. THIS REQUIREMENT IS AT THE OWNERS DISCRETION.

ELECTRIC/COMMUNICATIONS

- HORIZONTAL ALIGNMENT SHALL BE ACCURATELY SKETCHED ON A SITE PLAN. THE SITE PLAN SHALL BE SPECIFIC TO ELECTRIC AND COMMUNICATION UTILITIES ONLY.
- TRENCH X-SECTION (NUMBER AND TYPE CONDUIT, ENCASEMENT DETAIL, CONDUIT LENGTH, RUN DIRECTION) SHALL BE PROVIDED FOR EACH RUN OF CONDUIT. IF THE CROSS-SECTION CHANGES MID RUN THE LOCATION OF THE CHANGE MUST BE INDICATED WITH A NEW CROSS SECTION DETAIL.

SEPTIC

- ALL PIPE SIZES AND TYPES SHALL BE PROVIDED.
- ALL BENDS, FITTINGS, CAPS, CONNECTIONS, ETC. SHALL BE HORIZONTALLY LOCATED WITH THREE (3) SWING TIES AND THE TOP OF PIPE ELEVATION SHALL BE PROVIDED ACCURATE TO 0.1 FT.
- PROVIDE RECORD ALIGNMENT SEWER LINES, FORCE MAIN, AND SEPTIC LATERAL.
- SEPTIC TANK ACCESS COVERS LOCATION/ELEVATION.
- PUMP STATION ACCESS COVERS LOCATION/ELEVATION, ELECTRIC CONNECTIONS, AND METERS/ALARM LOCATIONS.

GAS/PROPANE

- ALL PIPE SIZES AND TYPES SHALL BE PROVIDED.
- HORIZONTAL ALIGNMENT OF GAS LINES SHALL BE ACCURATELY SKETCHED ON A SITE PLAN. THE SITE PLAN SHALL BE SPECIFIC TO GAS/PROPANE UTILITIES ONLY.

SWING TIES MAY BE SUBSTITUTED WITH SURVEY SHOTS TAKEN WITH SURVEY EQUIPMENT ABLE TO LOCATE INFRASTRUCTURE WITH A HORIZONTAL ACCURACY OF 1 FT AND A VERTICAL ACCURACY OF 0.1 FT.

Date revised	Description	Checked	Date
Design <u>SDG</u>	WW NOTES		
Drawn <u>SDG</u>			
Checked <u>SMV</u>			
Scale <u>N.T.S.</u>			
Date <u>05/14/24</u>			
Project <u>23318</u>	184 Rose Hill Road	Woodstock, Vermont	
KREBS & LANSING Consulting Engineers, Inc. 164 Main Street, Colchester, Vermont 05446			
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2025.05.02
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SHEET	TITLE	05/2025
00. GENERAL		
G000	TITLE SHEET	
G001	CODES, NOTES, SYMBOLS & ABBREVIATIONS	
04. ARCHITECTURAL		
A100	PLAN KEY	
A101	FLOOR PLAN L0 - LIVING ROOM WING	
A102	FLOOR PLAN L0 - BEDROOM WING	
A103	FLOOR PLAN L1 - LIVING ROOM WING	
A104	FLOOR PLAN L1 - BEDROOM WING	
A105	ROOF PLAN - BEDROOM WING	
A106	ROOF PLAN - LIVING ROOM WING	
A200	EXTERIOR ELEVATIONS - WEST	
A201	EXTERIOR ELEVATIONS - EAST	
A202	EXTERIOR ELEVATIONS - NORTH	
A203	EXTERIOR ELEVATIONS - SOUTH	
A900	RENDERINGS	

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Issue / Revision Log
2025.05.02 ZONING PERMIT

NOT FOR
CONSTRUCTION

Title
TITLE SHEET

Sheet Number
G000

	NORTH ARROW
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	BUILDING SECTION
	WALL SECTION
	BUILDING DETAIL
	DOOR NUMBER TYPE
	WINDOW / LOUVER TYPE
ROOM NAME 	ROOM NAME AND SF
	PARTITION TYPE
	KEY NOTE
	SECTION ELEVATION MARK
	FINISH FLOOR ELEVATION
	CEILING / SOFFIT HEIGHT
	PARTITION: EXISTING TO REMAIN
	PARTITION: NEW CONSTRUCTION
	PARTITION: EXISTING TO BE DEMOLISHED
	CMU AT DETAIL
	CONCRETE
	BATT INSULATION
	SPRAY-ON INSULATION
	RIGID INSULATION
	STEEL
	SAND
	EARTH
<p>DRAWING IDENTIFICATION</p> <p>SCALE</p> <p>View Name 1/8" = 1'-0"</p> <p>BACK REFERENCE SHEET NUMBER</p> <p>VIEWPORT TITLE</p> <p>A100.00 A301.00</p>	
SYMBOLS LEGEND	

1. **DIMENSIONS:**

A. DIMENSIONS ON PLANS ARE TO THE OUTSIDE FACE OF FOUNDATION WALLS, CENTER LINE OF COLUMNS, TO FACE OF STUD TYPICALLY, CENTER OF WINDOWS AND DOORS, UNLESS OTHERWISE NOTED.

B. DOOR AND CASED OPENINGS WITHOUT LOCATION DIMENSIONS OR DETAILS ARE TO BE CENTERED BETWEEN ADJACENT WALLS. DOORS ADJACENT TO ONE WALL BUT NOT DIMENSIONED SHALL BE LOCATED 4" (1.5/8") FROM FACE OF WALL FINISH.

C. SEE OVERALL FLOOR PLANS AND ENLARGED FLOOR PLANS FOR DIMENSIONS AND WALL TYPES.

2. **CODES:**

A. ALL WORK SHALL CONFORM TO APPLICABLE BUILDING CODES, LABOR LAW, AND ORDINANCES.

3. **DRAWINGS AND SPECIFICATIONS:**

A. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY THE ARCHITECT FOR DIRECTION IF ANY DISCREPANCIES ARE FOUND.

B. PARTITIONS SHALL BE FULL HEIGHT ASSEMBLY TO FLOOR OR ROOF DECK ABOVE, UNLESS NOTED OTHERWISE. PARTITIONS SHALL BE CONSTRUCTED TO ACCOMMODATE DEFLECTION.

C. PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND COORDINATE WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF THEIR WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTURAL AND THE CONSULTING ENGINEER(S) DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BY WRITTEN REQUEST FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR THE ARCHITECT.

4. **COORDINATION:**

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION OF THE WORK TO ASSURE COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS, AND THE ACCURATE LOCATION OF STRUCTURAL MEMBERS AND OPENINGS FOR MECHANICAL WORK.

B. THE CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR EQUIPMENT WITH MECHANICAL AND ELECTRICAL SUBCONTRACTOR(S) BEFORE PROCEEDING WITH THE WORK.

C. THE CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATION WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK.

1. **APPLICABLE CODES:**

BUILDER SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL ORDINANCES, BUILDING CODES AND THE VERMONT ENERGY CODE.

THE FOLLOWING CODES ARE EXPECTED TO APPLY TO THIS PROJECT:

TOWN OF WOODSTOCK, VERMONT ZONING REGULATIONS (CURRENT)

THE VERMONT FIRE AND BUILDING LIFE SAFETY CODE APPLIES AS FOLLOWS:

PRIMARY STATE ADOPTED CODES:
NFPA 1 FIRE CODE, 2015 EDITION
NFPA 101 LIFE SAFETY CODE, 2015 EDITION
THE INTERNATIONAL BUILDING CODE, IBC, 2015 EDITION
NFPA 70 NATIONAL ELECTRICAL CODE, 2018 EDITION
ICC INTERNATIONAL PLUMBING CODE, 2018 EDITION
THE NATIONAL BOARD INSPECTION CODE, NATIONAL BOARD OF BOILER AND PRESSURE VESSEL INSPECTORS, 2015

BUILDING ENERGY STANDARDS:
RESIDENTIAL BUILDING ENERGY STANDARDS (RBES), 2024 EDITION

OTHER CODES AND STANDARDS APPLY, AS REFERENCED BY THE ABOVE CODES

APPLICABLE CODES

A	AND	G.B.	GRAB BAR	Q.T.	QUARRY TILE
B	AT	G.C.C.	GENERAL CONTRACTOR	QTY	QUANTITY
(C)	CENTERLINE	G.L.	GALVANIZED IRON	R	RADIUS
D	EXISTING	G.R.	GUMBER	R.B.	RUBBER BASE
E	FEET	G.S.	GALVANIZED STEEL	R.D.	ROOF DRAIN
F	(INCHES)	GA	GAUGE	R.H.	RIGHT HAND
G	NUMBER	GAU	GALVANIZED	R.H.R.	RIGHT HAND REVERSE
H	PER	GEN	GENERAL	R.O.	ROUGH OPENING
%	PERCENT MINUS	GRFC	GLASS FIBER REINFORCED CONCRETE	RD	RE
		GL	GLASS	REF	REFER
A.B.	ANCHOR BOLT	GLZ	GLAZED TILE	RECPT	RECEIPT
A.D.	AREA DRAIN	GND	GROUND	REF	REFERENCE
A.P.	ACCESS PANEL	GR	GRADE	REFG	REFRIGERATOR
A.C.	AIR CONDITIONING	GYP	GYPSPUM	REFV	REFRIGERATION
ABV	ABOVE	GWB	GYPSPUM WALL BOARD	REQD	REQUIRED
ACC	ACCUSTICAL	H.C.	HOLLOW CORE	RESL	RESILIENT
ACCESS	ACCESS	H.M.	HOLLOW METAL	REV	REVISION
ACT	ACCUSTICAL CEILING TILE	H.P.	HIGH PITCH	RFG	ROOFING
ACCESSORY	ACCESSORY	H.C.	HANDICAP	RM	ROOM
ADD	ADDENDUM	H.BOD	HARDBOARD	S	SNK
ADH	ADHESIVE	H.BOD	HEAD	S.C.	SCUD CORE
ADJ	ADJUSTABLE	HDW	HARDWARE	S.D.	STORM DRAIN
AFF	AIRWAY FINISHED FLOOR	HDWD	HARDWOOD	S.F.	SQUARE FOOT
ALUM	ALUMINUM	HOR	HORIZONTAL	S.V.	SHEET VINYL
ALT	ALTERNATE	HT	HEIGHT	SCH	SCHEDULE
ANDCZ	ANDCZED	HTR	HEATER	SCN	SCREEN
AUTO	AUTOMATIC	HVAC	HEATING, VENTILATION, & AIR CONDITIONING	SEC	SECTION
				SEMT	SEMI
B.M.	BENCH MARK	I.D.	INSIDE DIAMETER	SOF	SOFFIT
B.O.	BY OTHERS	I.C.	INTERCOM	SPC	SPECIFICATION
B.U.	BUILT-UP	IMP	IMPERMEABLE	SPR	SPEAKER
B.B.	BASE BOARD	IMP	IMPERMEABLE	SS	SOLID SURFACE
BD	BOARD	IN	INCHES	ST	STREET
BTLUM	BITUMINOUS	INCAND	INCANDESCENT	ST.PT.	STEEL PARTITION
BLDG	BUILDING	INCL	INCLUDES	ST.STL.	STAINLESS STEEL
BLCK	BLOCK	INFO	INFORMATION	STS.	STORM SEWER
BULK	BULKHEAD	INST	INSTALL	STR	STRUCTURE
BOT	BOTTOM	INSUL	INSULATION	STD	STANDARD
BR	BRASS	INT	INTER	STR	STERILIZER
BR	BRASS	INT	INTER	STL	STEEL
BSMT	BASEMENT	INV	INVERT	STR	STRUCTURAL
				SUB	SUBSTITUTE
C.F.C.L.	CONTRACTOR FURNISH CONTRACTOR INSTALL	J.B.	JUNCTION BOX	SUP	SUPPORT
		JNT	JOINT	SUR	SURFACE
C.G.	CORNER GUARD	K.D.	KNOCK DOWN	SUSP	SUSPENDED
C.I.	CAST IRON	K.O.	KNOCK OUT	SUSP.CLG.	SUSPENDED CEILING
C.J.	CONSTRUCTION JOINT	K.O.	KNOCK OUT	SW	SWITCH
C.L.F.	CHAIN LINK FENCE	L.H.	LEFT HAND	T	TREAD
C.W.	COLD WATER	L.L.	LOW PITCH	T.C.P.	TOP TO BOTTOM
C.H	CASED OPENING	L.W.C.	LIGHT WEIGHT CONCRETE	T&G	TONGUE & GROOVE
C.I.	CIRCLE	LAM	LAMINATE	T.B.	TACK BOARD
C.L.	CONTROL JOINT	LAV	LAVATORY	T.C.	TEMPERED GLASS
C.L.W.G.L.	CLEAR WIRE GLASS	LB	POUND	T.O.F.	TOP OF
CLG	CEILING	LOCKER	LOCKER	T.O.P.	TOP OF CONCRETE
CLR	CLEAR	LOC	LOCATION	T.O.M.	TOP OF MASONRY
CMU	CONCRETE MASONRY UNIT	LT	LIGHT	T.O.S.	TOP OF STEEL
CL	COLUM	LVR	LOUISIER	T.O.W.	TOP OF WALL
CONC.	CONCRETE			T.P.	TOP OF PAVEMENT
CONC. FL.	CONCRETE FLOOR	M.PARTN	MOVABLE PARTITION	T.S.	TUBE STEEL
CONC.	CONCRETE	MATCH	MATCH EXISTING	TEL	TELEPHONE
CONST	CONSTRUCTION	M.Q.	MASONRY OPENING	TEMP	TEMPORARY
CONT	CONTINUOUS	MACH	MACHINE	TERP	TERRAZZO
CPT	CARPET	MAX	MAXIMUM	THK	THICK
CTR	CERAMIC TILE	MB	MARKERBOARD	THR	THRESHOLD
CE	CENTER	MECH	MECHANICAL	THRU	THROUGH
CW	CURTAIN WALL	MEMB	MEMBRANE	TYP	TYPICAL
		MEZZ	MEZZANINE		
D.F.	DECKING	MANF	MANUFACTURER	U.N.O.	UNLESS NOTED OTHERWISE
D.O.	DOOR OPENING	MIN	MINIMUM	UC	UNDERCUT
DEG	DEGREE	MISCELL	MISCELLANEOUS	UG	UNDERGROUND
DEMO	DEMOLITION	ML	MATCH LINE	UL	UNDERWRITERS
DET	DETAIL	MDG	MOULDING	UNF	UNDERWRITERS, INC.
DIA	DIAMETER	MOD	MODULAR	UNF	UNDERWRITERS
DIFF	DIFFUSER	MOV	MOVABLE	V.B.	VAPOR BARRIER
DIM	DIMENSION	MOUN	MOUNTED	V.C.	VINYL COMPOSITE TILE
DIST	DISTANCE	MTG	MOUNTING	V.F.	VERIFY IN FIELD
DIV	DIVISION	MTG. HT.	MOUNTING HEIGHT	V.V.C.	VINYL WALL COVERING
DOW	DOWEL	METAL	METAL	VAR	VARIABLES
DOC	DOCUMENTS	MUL	MULLION	VENT	VENTILATION
DP	DAMPPOOFING	MULT	MULTIPLE	VERT	VERTICAL
DR	DOOR	N	NORTH	VWB	VINYL WALL BASE
DS	DOWNSPOUT	N.C.	NONCORROSIVE	W	WEST
DW	DISHWASHER	N.C.	NOT IN CONTRACT	W.G.	WIRE GLASS
DWG	DRAWING	N.S.	NOT TO SCALE	W.C.	WATER CLOSET
		N.S.	NOT TO SCALE	W.H.	WATER HEATER
E	EAST	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION	W.P.	WORKING POINT
E.T.O.E.	END TO END			W.W.	WEATHER STRIPPING
E.B.	EXPANSION BOLT	O.C.	ON CENTER(S)	W.T.W.	WALL TO WALL
E.P.	ELECTRICAL PANEL	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALL	W.W.F.	WEL

BIRDSEYE

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2025-05-02 JONAH PERNA

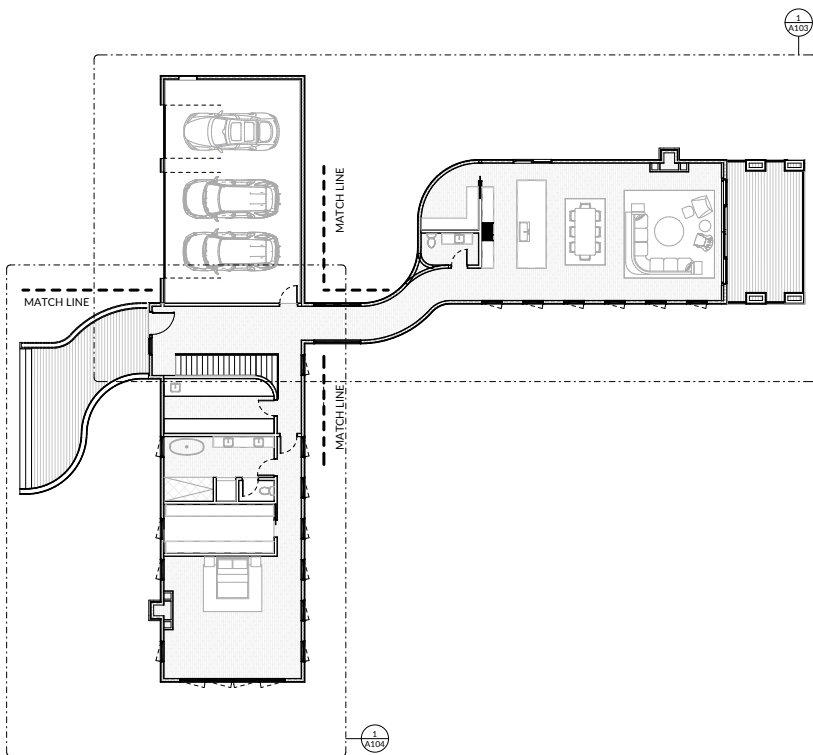
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CONSTRUCTION**

Title
CODES, NOTES, SYMBOLS &
ABBREVIATIONS

Sheet Number

G001

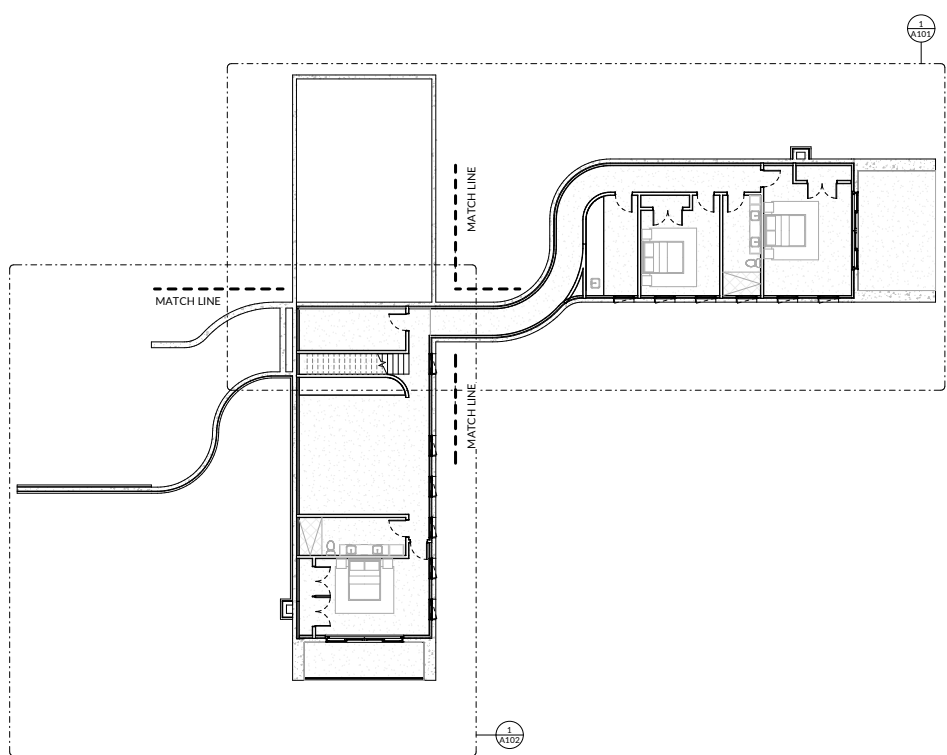
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LEVEL 1 - PLAN KEY

3/32" = 1'-0"

2
A100 A100



LEVEL 0 - PLAN KEY

3/32" = 1'-0"

1
A100 A100

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2025.03.02 ZACHARY PERMY

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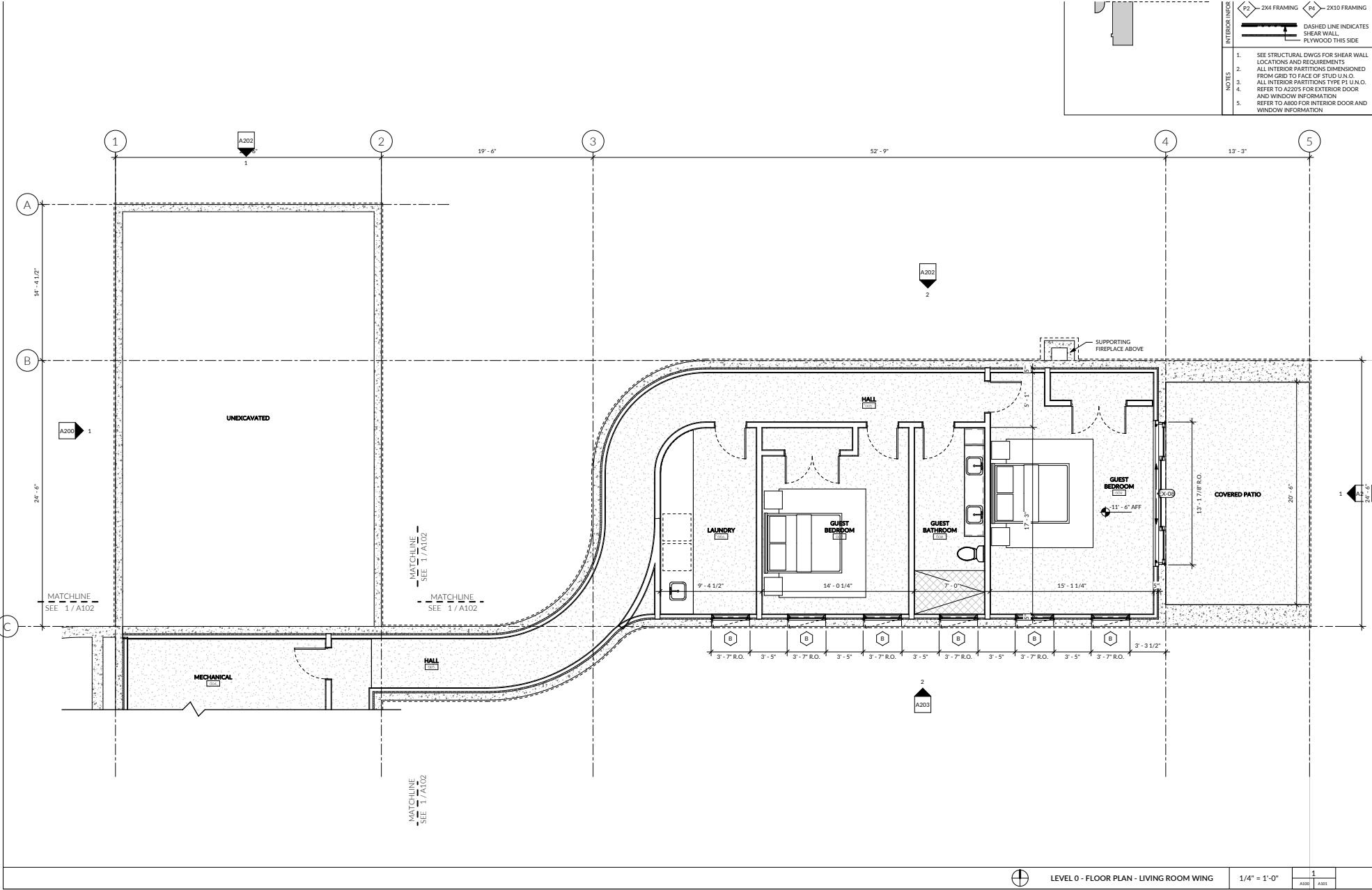
Title
PLAN KEY

Sheet Number

A100

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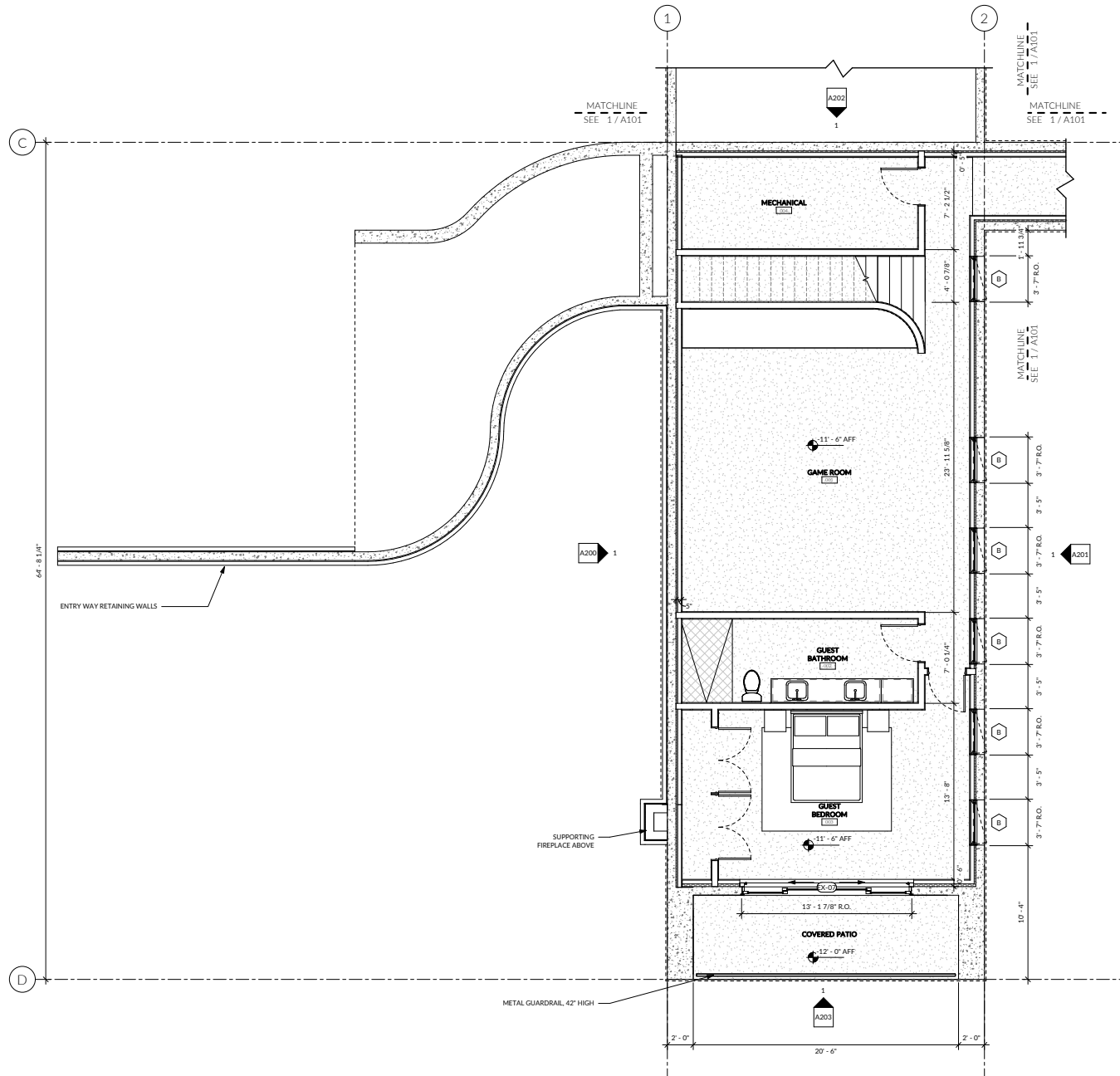
Issue / Revision Log
2025/03/02 JONHAG PERMIT

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This FLOOR PLAN L0 - LIVING ROOM WING

Sheet Number

A101



AREA IN FOCUS		PLAN KEY			
		EXTERIOR INFORMATION		INTERIOR INFORMATION	
		W1	SEE W1/A400	P1	2x6 FRAMING
		W2	SEE W2/A400	P2	2x4 FRAMING
		F1	SEE F1/A400	P3	2x8 FRAMING
		W3	SEE W3/A400	P4	2X10 FRAMING
		A1	SEE A220'S	 DASHED LINE INDICATES SHEAR WALL, PLYWOOD THIS SIDE	
NOTES					
1. SEE STRUCTURAL DWGS FOR SHEAR WALL LOCATIONS AND REQUIREMENTS					
2. ALL INTERIOR PARTITIONS DIMENSIONED FROM GRID TO FACE OF STUD U.O.					
3. ALL INTERIOR PARTITIONS TYPE P1 U.O. REFER TO A220'S FOR EXTERIOR DOOR AND WINDOW INFORMATION					
4. REFER TO A400 FOR INTERIOR DOOR AND WINDOW INFORMATION					

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2020.03.02 2020.03.02

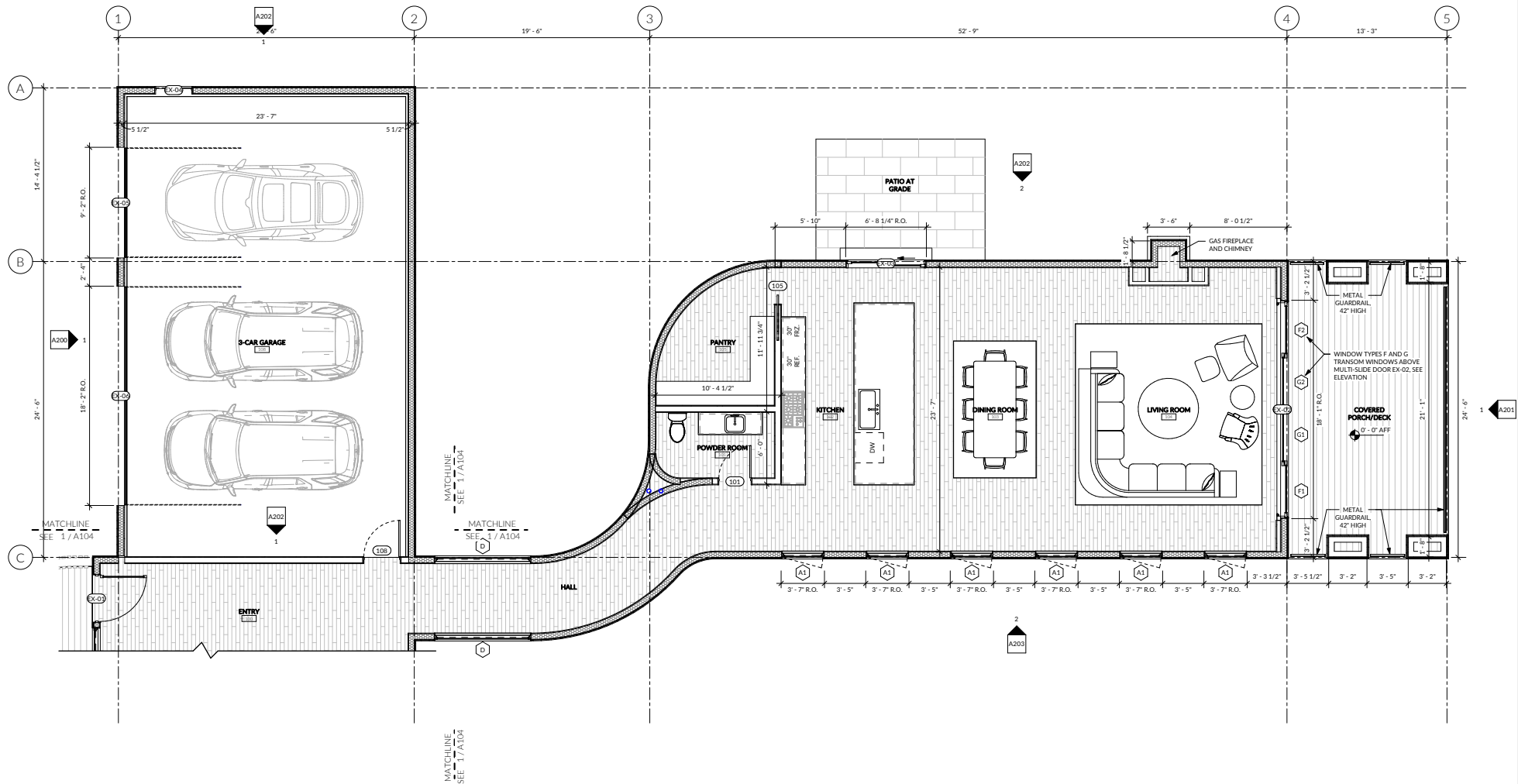
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Title
FLOOR PLAN L0 - BEDROOM WING

Sheet Number

A102

AREA IN FOCUS		PLAN KEY	
	EXTERIOR INFORMATION	W1 - SEE W1/A400	W1A - SEE W1/A400
		W2 - SEE W2/A400	W3 - SEE W3/A400
		F1 - SEE F1/A400	F4 - SEE A220'S
	INTERIOR INFORMATION	P1 - 2x6 FRAMING	P3 - 2X8 FRAMING
		P2 - 2X4 FRAMING	P4 - 2X10 FRAMING
	 DASHED LINE INDICATES SHEAR WALL. PLYWOOD THIS SIDE		
NOTES		1. SEE STRUCTURAL DWGS FOR SHEAR WALL LOCATIONS AND REQUIREMENTS 2. ALL INTERIOR PARTITIONS DIMENSIONED FROM GRID TO FACE OF STUD U.N.O. 3. ALL INTERIOR PARTITIONS TYPE P1 U.N.O. 4. REFER TO A220'S FOR EXTERIOR DOOR AND WINDOW INFORMATION 5. REFER TO A400 FOR INTERIOR DOOR AND WINDOW INFORMATION	



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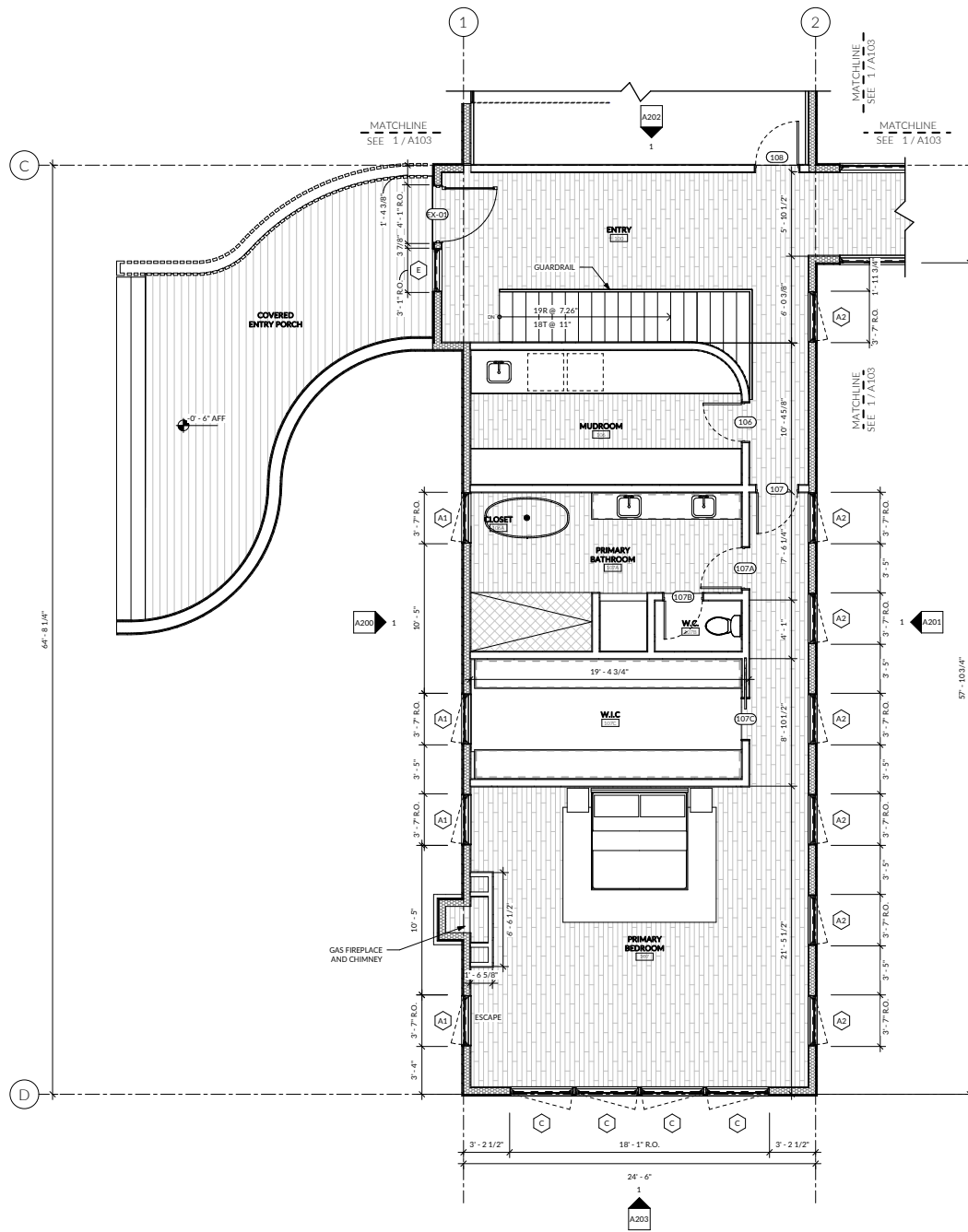
Issue / Revision Log
2020/05/02 2020/05/02

NOT FOR CONSTRUCTION

Title
FLOOR PLAN L1 - LIVING ROOM WING

Sheet Number

A103



AREA IN FOCUS		PLAN KEY	
	EXTERIOR INFORMATION	W1 - SEE W1/A400	W1A - SEE W1/A400
		W2 - SEE W2/A400	W3 - SEE W3/A400
		F1 - SEE F1/A400	F4 - SEE A220'S
	INTERIOR INFORMATION	P1 - 2x6 FRAMING	P3 - 2X8 FRAMING
		P2 - 2X4 FRAMING	P4 - 2X10 FRAMING
		DASHED LINE INDICATES SHEAR WALL. PLYWOOD THIS SIDE	
NOTES		1. SEE STRUCTURAL DWGS FOR SHEAR WALL LOCATIONS AND REQUIREMENTS	
		2. ALL INTERIOR PARTITIONS DIMENSIONED FROM GRID TO FACE OF STUD U.A.O.	
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		4. REFER TO A220'S FOR EXTERIOR DOOR AND WINDOW INFORMATION	
		5. REFER TO A400 FOR INTERIOR DOOR AND WINDOW INFORMATION	

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Issue / Revision Log
2020.03.02 2020.03.02

NOT FOR CONSTRUCTION

Title
FLOOR PLAN L1 - BEDROOM WING

Sheet Number

A104

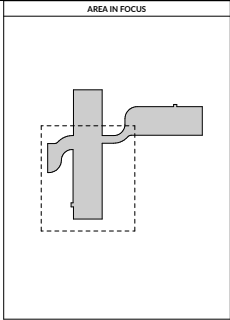


LEVEL 1 - FLOOR PLAN - BEDROOM WING

1/4" = 1'-0"

1
A100 A104

9/25/2025 10:40:40 AM



3104 HUNTINGTON ROAD
RICHMOND, VERMONT
802-434-2112
WWW.BIRDSEYEV.T

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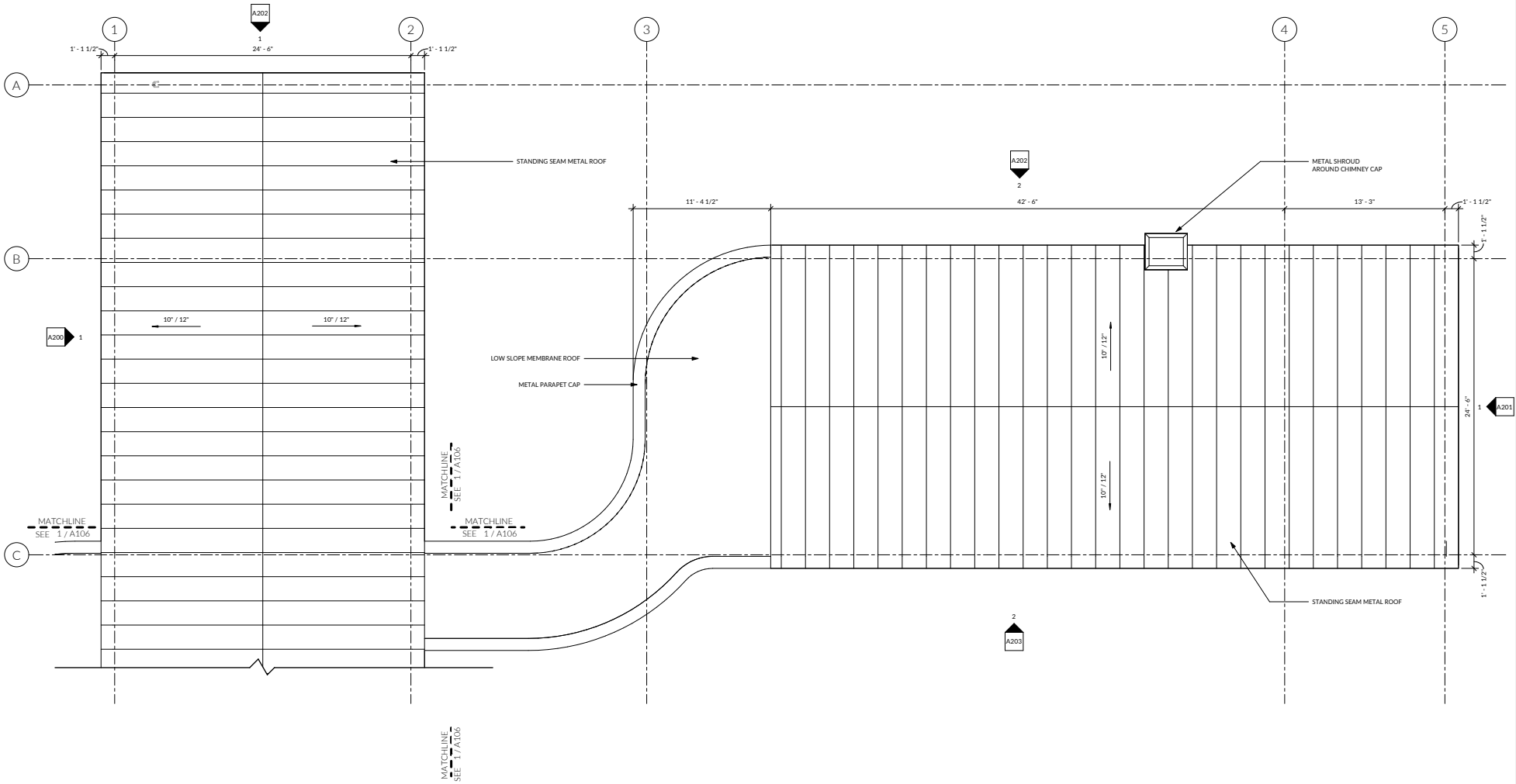
Issue / Revision Log
2025.05.02 ZOHANG PENG

NOT FOR CONSTRUCTION

Title
ROOF PLAN - BEDROOM WING

Sheet Number

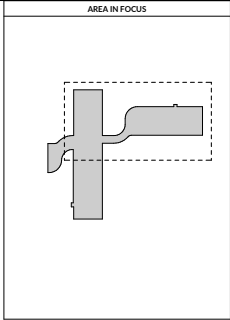
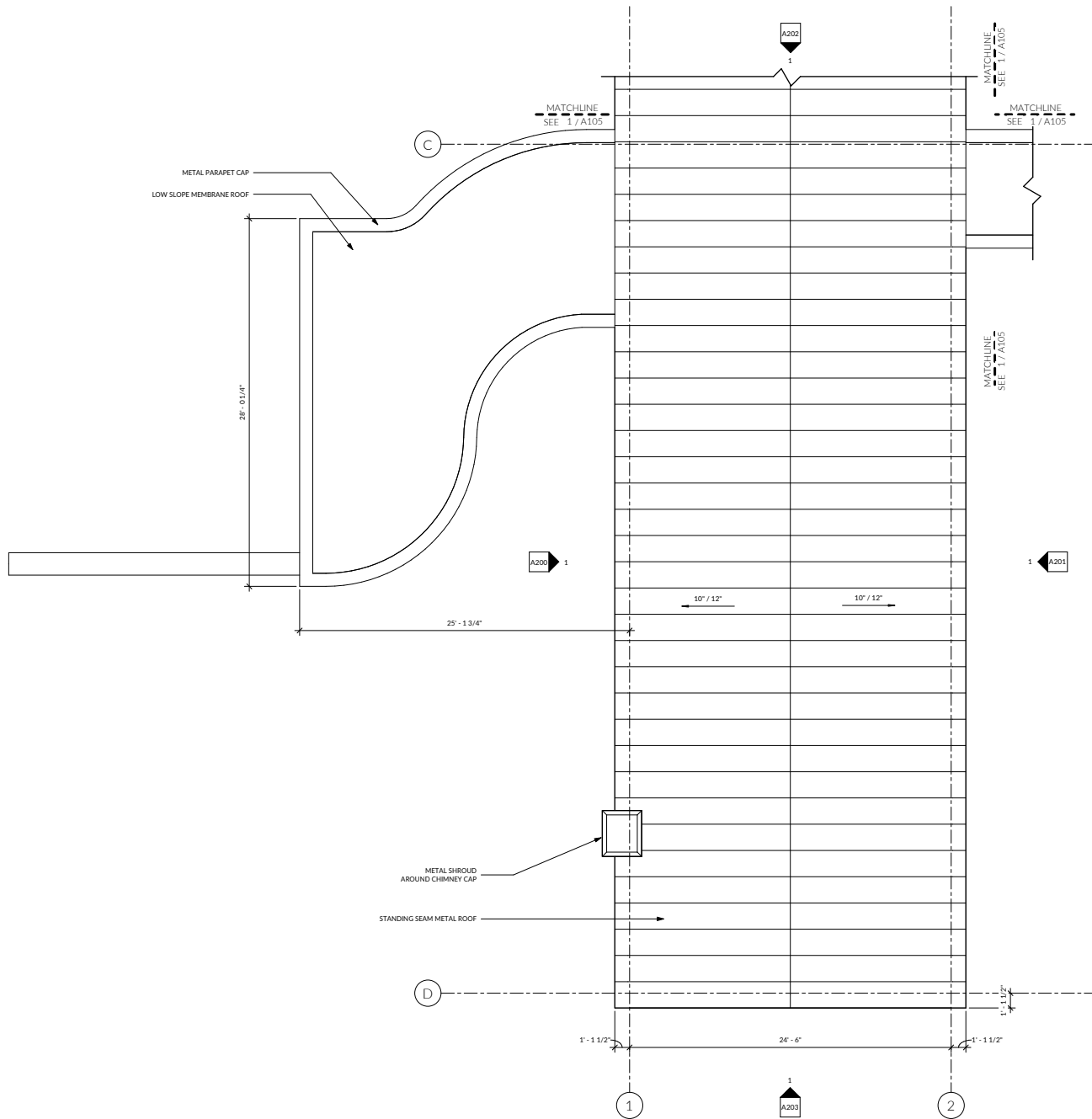
A105



⊕ ROOF PLAN - LIVING ROOM WING

1/4" = 1'-0"

1
A105



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2025-03-02 JONAH PERMY

NOT FOR CONSTRUCTION

Title
ROOF PLAN - LIVING ROOM WING

Sheet Number

A106



ROOF PLAN - BEDROOM WING

1/4" = 1'-0"

1

A106

KORLESKY RESIDENCE
184 ROSE HILL RD
WOODSTOCK, VT

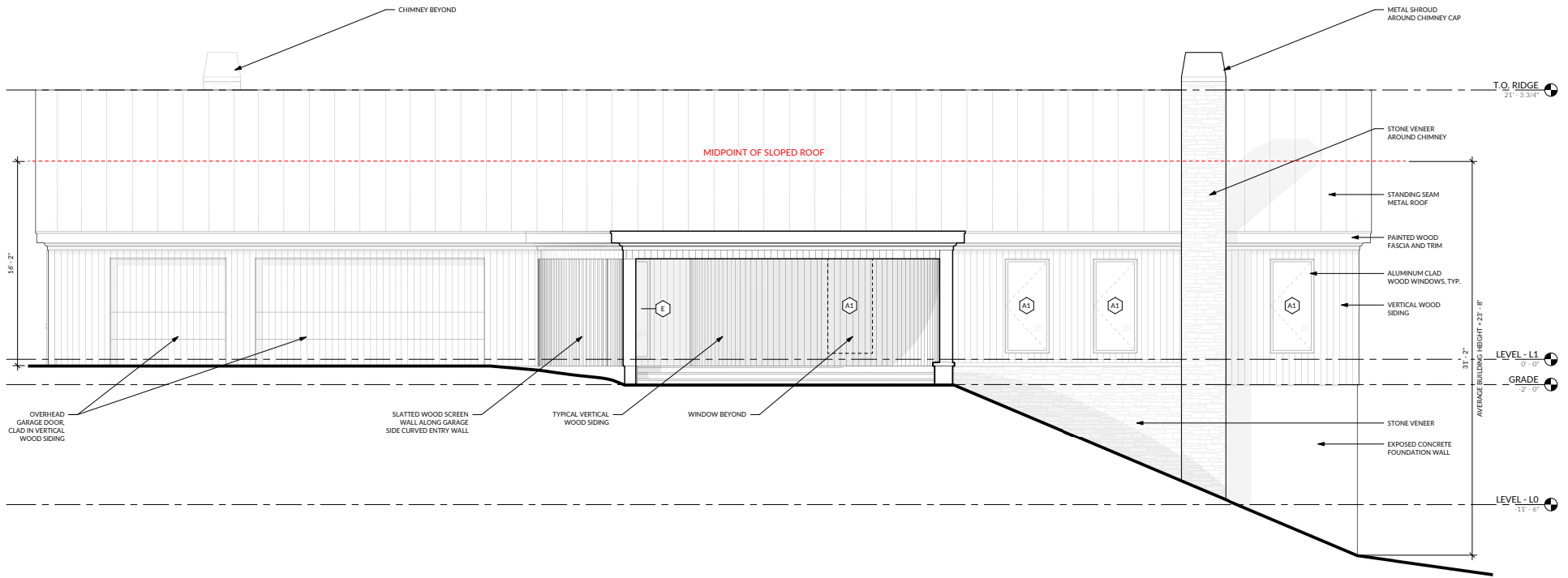
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Issue / Revision Log
2025.03.02 ZACHARY PERMYT

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Title
EXTERIOR ELEVATIONS - WEST

Sheet Number
A200



WEST ELEVATION

1/4" = 1'-0"

1
A200

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WOODSTOCK, VT

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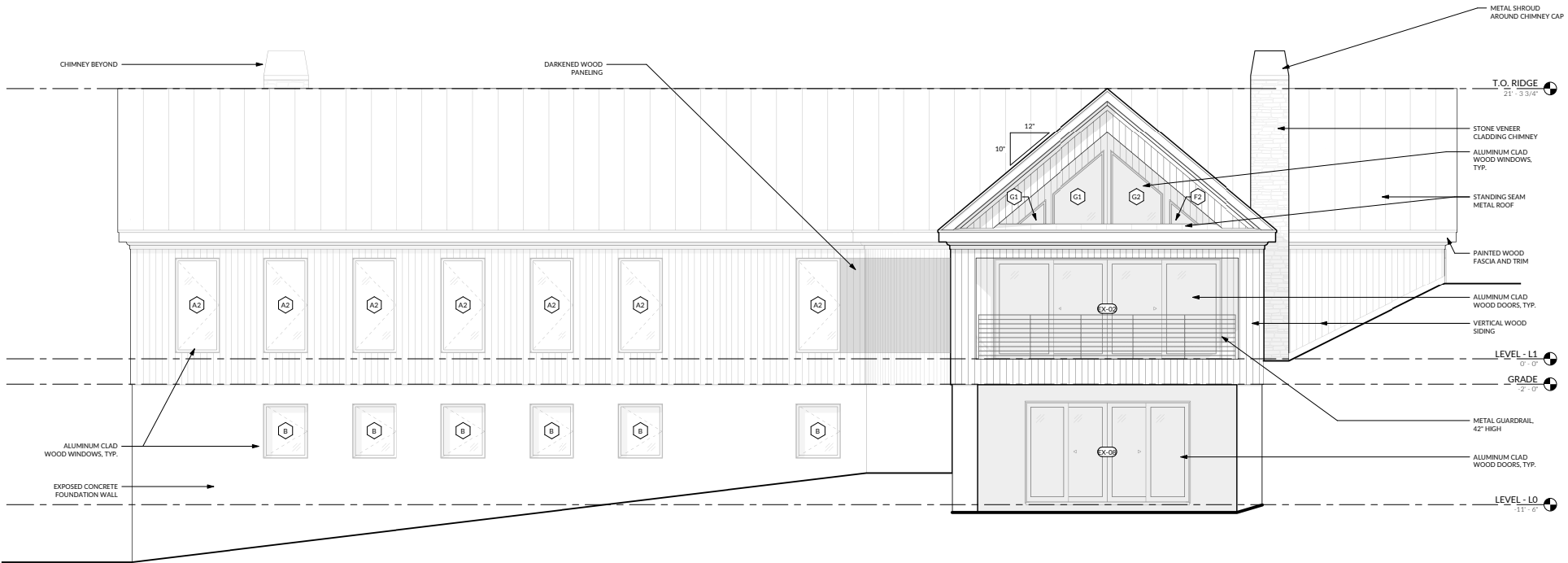
Issue / Revision Log
2025-03-02 ZACHARY PERMYT

NOT FOR CONSTRUCTION

Title
EXTERIOR ELEVATIONS - EAST

Sheet Number

A201

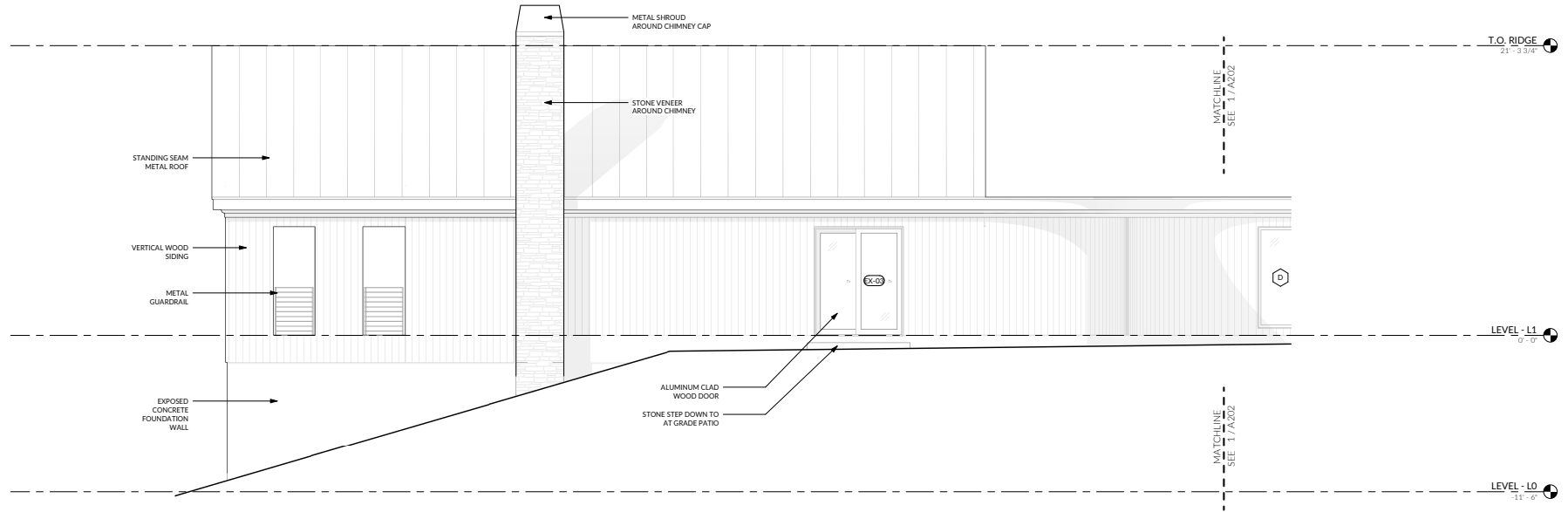


EAST ELEVATION

1/4" = 1'-0"

1
A201 A201

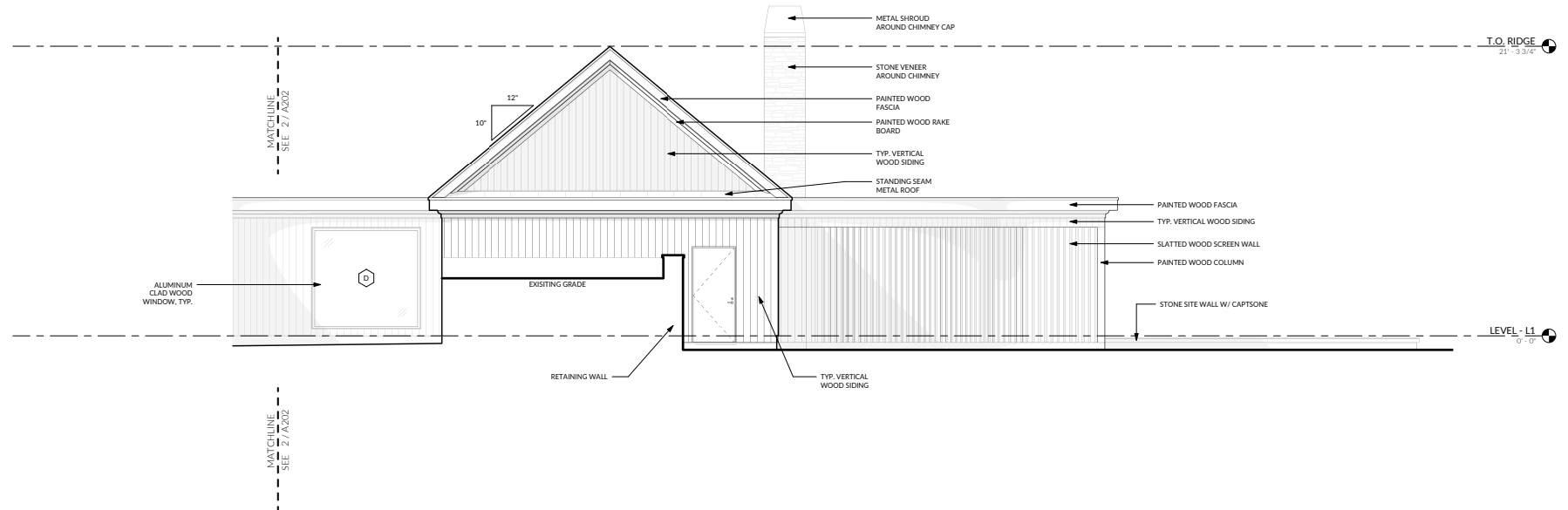
9/25/2025 10:48 AM



NORTH ELEVATION - EAST HOUSE

1/4" = 1'-0"

2
A201 A202



NORTH ELEVATION - WEST HOUSE

1/4" = 1'-0"

1
A201 A202

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Issue / Revision Log
2025-05-02 2025-05-02

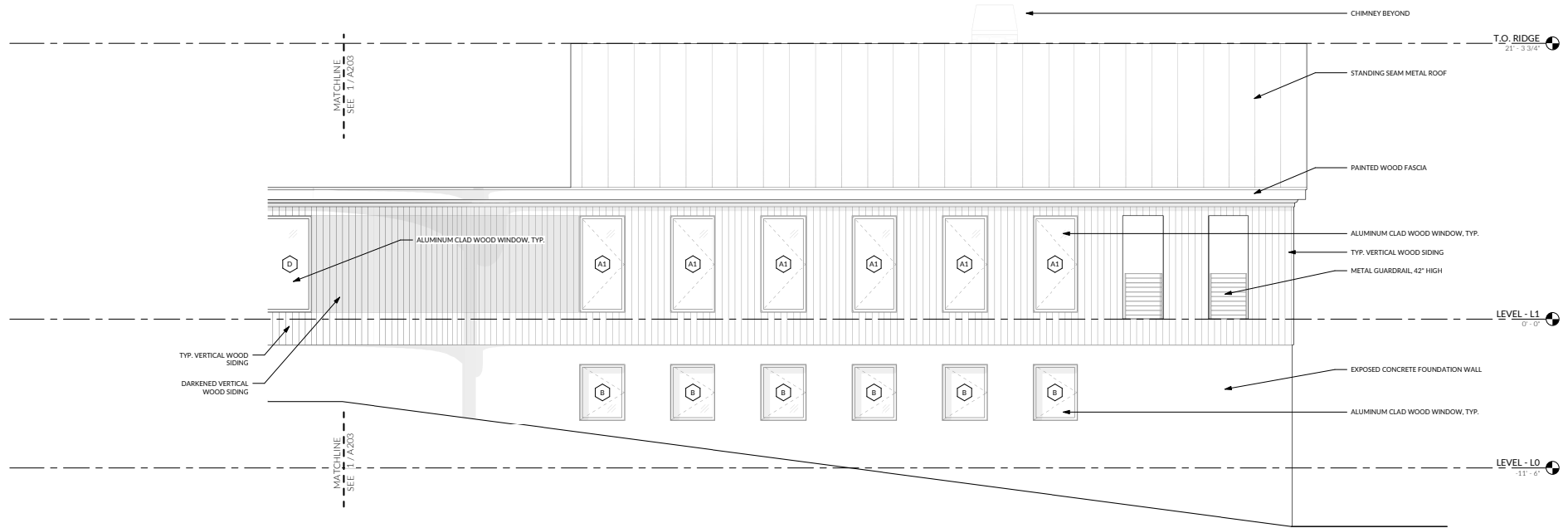
NOT FOR
CONSTRUCTION

Title
EXTERIOR ELEVATIONS - NORTH

Sheet Number

A202

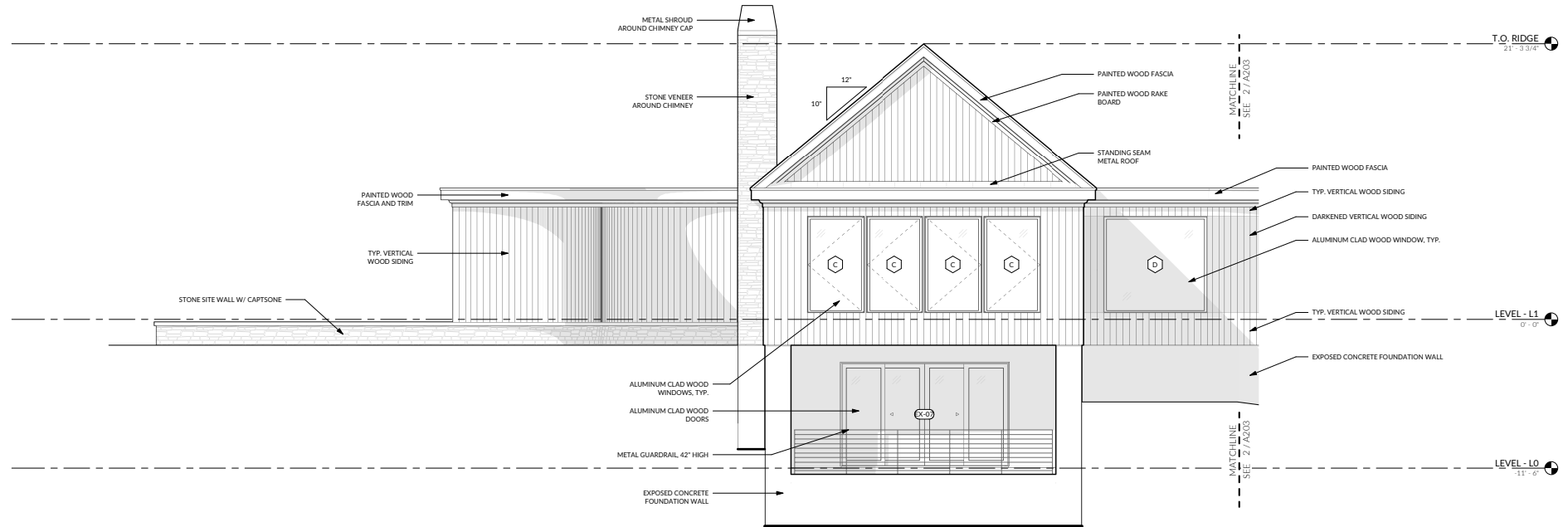
12/2020 2:04:04 PM



SOUTH ELEVATION - EAST HOUSE

1/4" = 1'-0"

2
A202 A203



SOUTH ELEVATION - WEST HOUSE

1/4" = 1'-0"

1
A201 A203

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2020.05.02 2020.05.02

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CONSTRUCTION

Title
EXTERIOR ELEVATIONS - SOUTH

Sheet Number

A203

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VIEW FROM EAST



VIEW FROM SOUTHWEST



SOUTHWEST AERIAL VIEW



VIEW FROM SOUTHEAST



DRIVEWAY VIEW



SOUTH AERIAL VIEW



VIEW FROM SOUTH



NORTHEAST AERIAL VIEW



SOUTHEAST AERIAL VIEW



ENTRY VIEW



NORTH AERIAL VIEW



SITE AERIAL VIEW

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Issue / Revision Log
2020-05-02 JONAH PERMY

NOT FOR
CONSTRUCTION

Title
RENDERINGS

Sheet Number
A900

WOODSTOCK CONSERVATION COMMISSION

Thursday, February 20, 2025

6:30 PM

MINUTES

31 The Green

Woodstock, VT 05091

Members present: Justin Quinn, Lauren Dorsey, Al Alessi, Jenny Ahlen

Public present: Brad Ruderman

Staff present: Mike Tuller, Molly Maxham

1. Call to Order: 6:30 PM

2. Public Hearing:

A. T-0036-25– Ansel Newton Dickey

Location: 876 Barberry Road

Parcel ID: 03.02.23.001

Proposed Development: Proposed installation of 4,000 +/- linear feet of buried cable-in-conduit and the installation of three utility vaults

Al Alessi opens the meeting, noting that the agenda includes a public hearing, and approval of minutes. Al Alessi suggests that the board may choose to vote on minutes at the next regularly scheduled meeting. Brad Ruderman introduces himself as the engineer working for Ansel and Gertrude Dickey. Brad Ruderman explains that the initial plan was to use on-site solar but now involves bringing in a power line from the last pole and burying it. The power line must be kept a minimum of 10 feet off the road due to Green Mountain Power specifications. The proposed route requires three vaults along the way, with the line passing through both state and town buffer zones. The state permit application is in the review process, with favorable feedback from the state. Brad Ruderman states that the line will be buried 36 inches deep and reclaimed to the best existing conditions, minimizing tree removal. Justin Quinn asks how long the line will be. Brad Ruderman explains that the line will be 4000 feet long. Al Alessi asks how long the section of the line in the buffer will be. Brad Ruderman explains that approximately 380 feet are in the buffer along the edge of a manmade pond. Brad Ruderman also shared a map showing where the line would intersect with the state and local buffer zone around the pond.

Justin Quinn motioned to approve the application as presented.

Laren Dorey seconded the motion.

Vote. Approved. 4-0.

2. Other Business: None

3. Adjournment:

Meeting Adjourned at 6:52 PM



Woodstock, Vermont

The Shire Town of Windsor County

TOWN - VILLAGE MANAGER GOVERNMENT

Town Hall • P.O. Box 488 • Woodstock, Vermont 05091 • 802/457-3456

Planning & Zoning Application

Date: 04/11/2025

Applicant / Co-Applicant

Applicant Name: Charlie Compton
Address: 6 Highland Ave
City, State, Zip: Woodstock, VT, 05151
Phone: 202-445-7958
Email: charlie@ascutneyventures.org

Co-Applicant:
Address:
City, State, Zip:
Phone:
Email:

Agent

Authorized Agent: Douglas Bejarano
Address:
City, State, Zip:

Phone: 802-291-4813
Email: dougbej@outlook.com

Details

Contact Method:
Mail To: 250 Mill Pond Ct, Perkinsville,
VT 05151
Parcel ID:
Site Address:

Zoning: RHD
Overlay: Conservation
Project Cost: 10000.00
Habitable: 750.00
Non-Habitable: .00

Project Description: To construct a wooden deck around the front of the home with new stairs to the driveway and a canopy above the exterior door.

I do hereby certify that the information contained herein is true and correct.

Charlie Compton
Name

04/11/2025
Date

6 Highland Ave

Front Deck Proposal

May 1, 2025

Charlie Compton

Contact Information

Landowner

Charlie Compton

250 Mill Pond Ct, Perkinsville VT 05151

Charlie@ascutneyventures.org

202-445-7958

Agent

Doug Bejarano

DB Husetuning

374 Coon Club Rd, West Windsor, VT 05089

dandwbej@gmail.com

802-291-4813

Description

I am writing to request approval to add a deck to the front of 6 Highland Ave. The three goals of the project are to provide better access to the house, create usable outdoor space, and improve the aesthetics of the house from the street.

The project will include a wooden deck of approximately 300 sq feet with a traditional wooden railing. A small wooden door canopy will be added to define and protect the front entrance. A wooden open pergola will be added to extend the visual roof line from the front room to match the current set-back façade (grey wall in the existing view photo). The project is more than 50 feet from any property line and no trees will be impacted by construction.

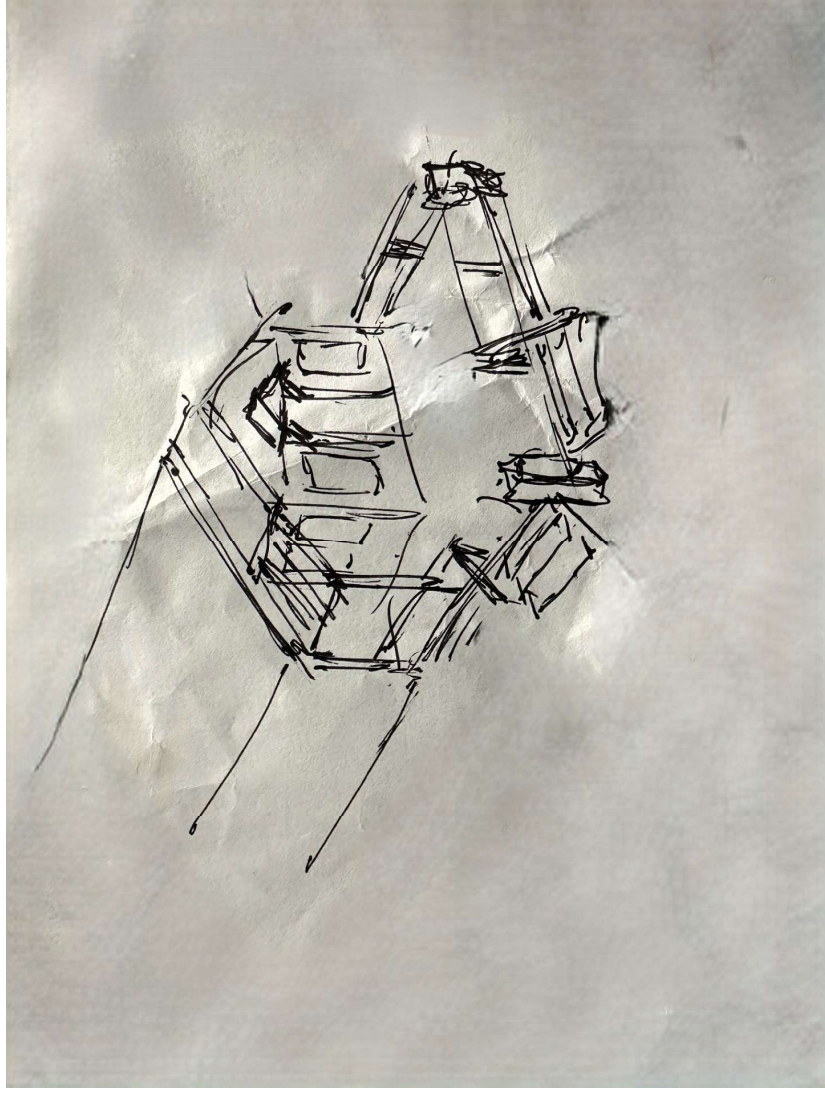
The project is expected to be completed within two weeks of the start date and is expected to cost \$10,000.

Existing View



6 Highland Ave - Deck Proposal

Elevation 1



6 Highland Ave - Deck Proposal

Elevation 2



WeatherShield WeatherShield 5/4 in. x 6 in. x 12 ft. Ground Contact Pressure-Treated Premium Southern Yellow Pine Decking Board



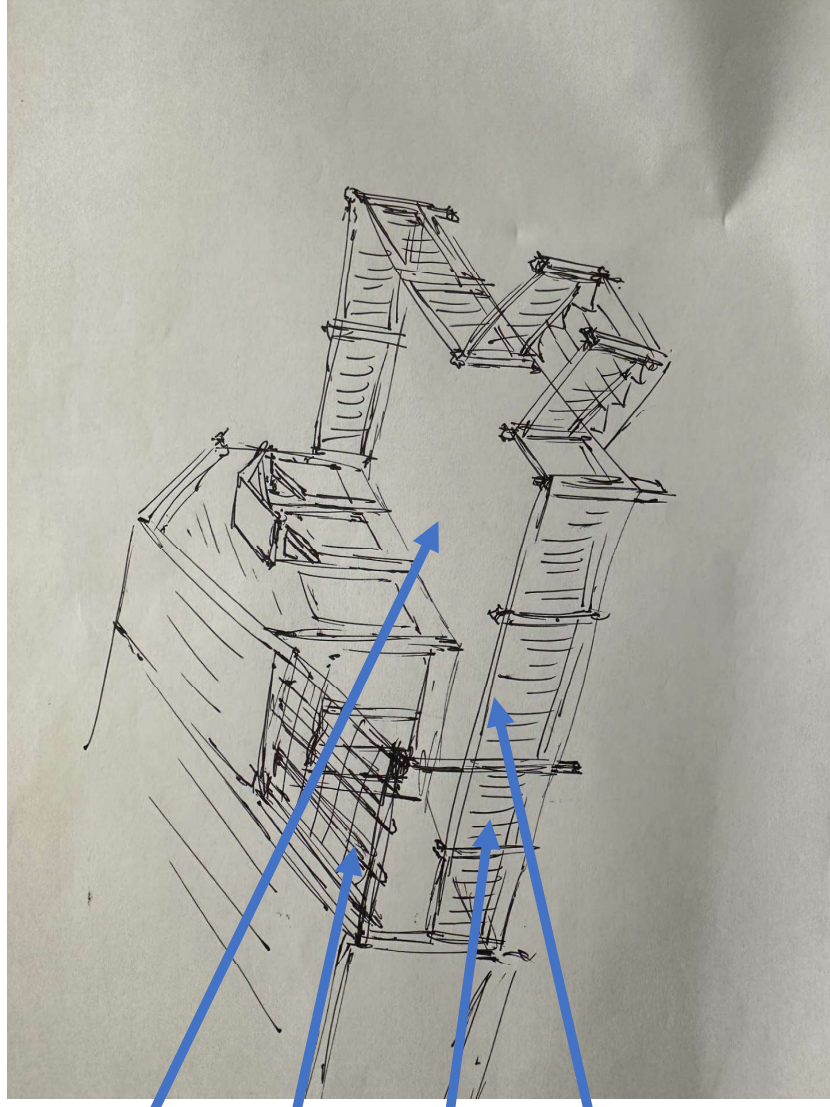
Unbranded Unbranded 2 in. x 8 in. x 10 ft. 1 Ground Contact Pressure-Treated Southern Yellow Pine Lumber



ProWood ProWood Pressure-Treated 6 ft. Aluminum Southern Yellow Pine Rail Kit
Store SKU # 1000347942

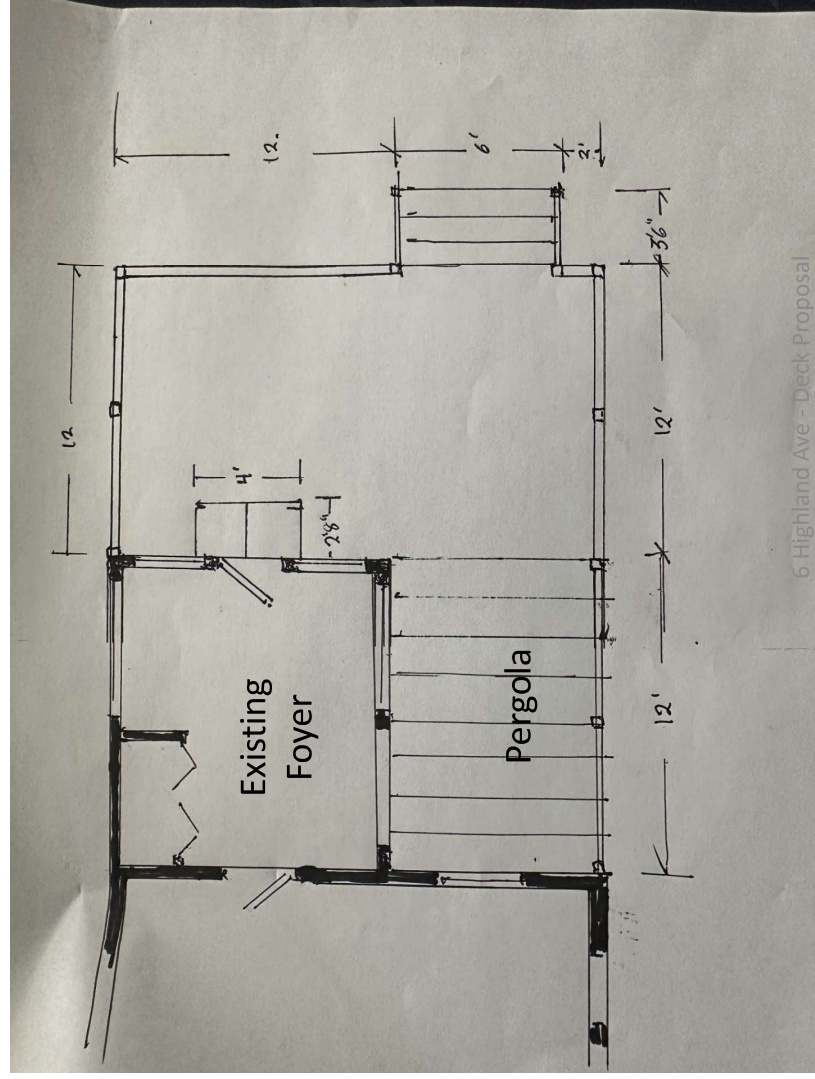


Edge Edge 1 in. x 4 in. x 8 ft. Timeless Primed White Smooth Pine Trim (4-Pack)
Store SKU # 1010855146

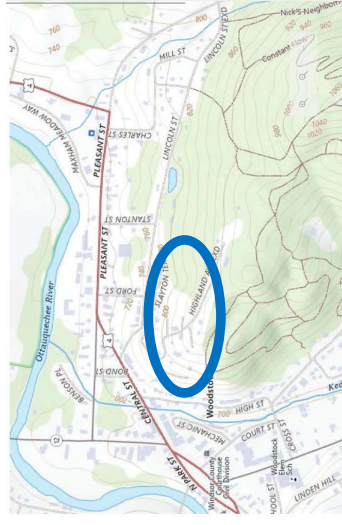


6 Highland Ave - Deck Proposal

Layout



USGS Topographic Map



6 Highland Ave - Deck Proposal

Scenic Ridgeline District Overlay



6 Highland Ave - Deck Proposal



6 Highland Ave

Town of Woodstock, VT

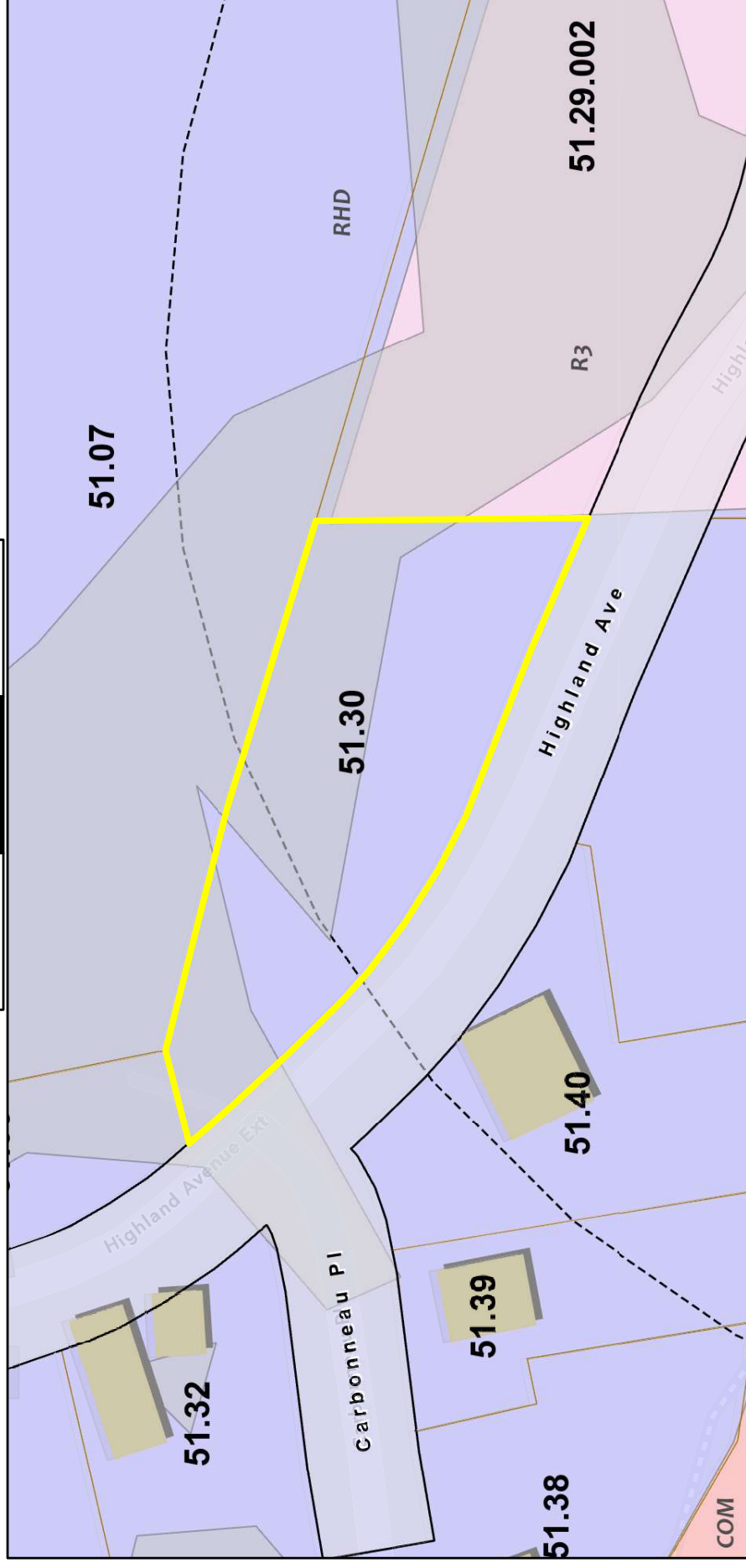
1 inch = 69 Feet

April 16, 2025



Precision Mapping. Geospatial Solutions.

www.cai-tech.com



	Property Line		Slope > 25%		RESIDENTIAL 3 ACRE
	Public Road		Ridge Overlay		RESIDENTIAL HIGH DENSITY
	Buildings		Town Zoning		
	Right of Ways		COMMUNITY		

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